



Meander Valley Council  
Working Together

## PLANNING NOTICE

An application has been received for a Permit under s.57 of the Land Use Planning Approvals Act 1993:

APPLICANT:	<b>Wilson Homes - PA\25\0004</b>
PROPERTY ADDRESS:	<b>3976 Meander Valley Road EXTON (CT: 182048/2)</b>
DEVELOPMENT:	<b>Single dwelling - driveway, parking area, waterway.</b>

The application can be inspected until **Monday, 29 July 2024**, at [www.meander.tas.gov.au](http://www.meander.tas.gov.au) or at the Council Office, 26 Lyall Street, Westbury (during normal office hours).

Written representations may be made during this time addressed to the General Manager, PO Box 102, Westbury 7303, or by email to [planning@mvc.tas.gov.au](mailto:planning@mvc.tas.gov.au). Please include a contact phone number. Please note any representations lodged will be available for public viewing.

If you have any questions about this application please do not hesitate to contact Council's Planning Department on 6393 5320.

Dated at Westbury on 13 July 2024.

Jonathan Harmey  
**GENERAL MANAGER**

# APPLICATION FORM

## PLANNING PERMIT

### Land Use Planning and Approvals Act 1993



- Application form & details **MUST** be completed **IN FULL**.
- Incomplete forms will not be accepted and may delay processing and issue of any Permits.

#### OFFICE USE ONLY

Property No:	<input type="text"/>	Assessment No:	<input type="text"/>	-	<input type="text"/>	-	<input type="text"/>
DA\	<input type="text"/>	PA\	<input type="text"/>	PC\	<input type="text"/>		

- Is your application the result of an illegal building work?  Yes  No Indicate by ✓ box
- Have you already received a Planning Review for this proposal?  Yes  No
- Is a new vehicle access or crossover required?  Yes  No

#### PROPERTY DETAILS:

Address:	<input type="text" value="3976 Meander Valley Road"/>	Certificate of Title:	<input type="text" value="182048"/>
Suburb:	<input type="text" value="Exeter Exton"/>	<input type="text" value="7303"/>	Lot No: <input type="text" value="2"/>
Land area:	<input type="text" value="7353"/>	<i>m<sup>2</sup> / ha</i>	
Present use of land/building:	<input type="text" value="Vacant land - existing sheds"/>	<i>(vacant, residential, rural, industrial, commercial or forestry)</i>	

- Does the application involve Crown Land or Private access via a Crown Access Licence:  Yes  No
- Heritage Listed Property:  Yes  No

#### DETAILS OF USE OR DEVELOPMENT:

- Indicate by ✓ box
- |   |  |                                      |                                     |
|---|--|--------------------------------------|-------------------------------------|
| <input checked="" type="checkbox"/> Building work | <input type="checkbox"/> Change of use | <input type="checkbox"/> Subdivision | <input type="checkbox"/> Demolition |
| <input type="checkbox"/> Forestry                 | <input type="checkbox"/> Other         |                                      |                                     |

Total cost of development (inclusive of GST):  *Includes total cost of building work, landscaping, road works and infrastructure*

Description of work:

Use of building:  *(main use of proposed building – dwelling, garage, farm building, factory, office, shop)*

New floor area:  m<sup>2</sup>      New building height:  m

Materials: External walls:  Colour:

Roof cladding:  Colour:

SEARCH OF TORRENS TITLE

VOLUME 182048	FOLIO 2
EDITION 2	DATE OF ISSUE 01-Nov-2022

SEARCH DATE : 23-Feb-2024

SEARCH TIME : 09.46 AM

DESCRIPTION OF LAND

Parish of EXTON Land District of WESTMORLAND  
 Lot 2 on Sealed Plan 182048  
 Derivation : Part of 1040 Acres Gtd. to W.Field, J.Bonney and  
 E.Richards  
 Prior CT 53317/1

SCHEDULE 1

M984549 TRANSFER to ALEXANDRE LARGET and CLAIRE AUDREY LITTLE  
 Registered 01-Nov-2022 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
 SP182048 EASEMENTS in Schedule of Easements  
 SP182048 COVENANTS in Schedule of Easements  
 SP182048 FENCING COVENANT in Schedule of Easements  
 SP 53317 COVENANTS in Schedule of Easements  
 SP 53317 FENCING PROVISION in Schedule of Easements  
 E321929 MORTGAGE to Commonwealth Bank of Australia  
 Registered 01-Nov-2022 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



<b>SCHEDULE OF EASEMENTS</b>	Registered Number
<b>NOTE:</b> THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	<b>SP182048</b>

PAGE 1 OF 4 PAGES  
EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS

Lots 1, 2 and 3 on the Plan ~~and Lot 2 on Sealed Plan 53317~~ are each subject to a right of drainage in favour of the Meander Valley Council over the land marked "DRAINAGE EASEMENT 3m WIDE (SP53317)" on the Plan.

Lot 3 on the Plan ~~and Lot 2 on Sealed Plan 53317~~ <sup>is</sup> subject to a right of drainage in favour of ~~the Meander Valley Council~~ over the land marked "DRAINAGE EASEMENT 3m WIDE" on the Plan.  
(appurtenant to Lot 2 on the Plan)

Lot 2 on the Plan is together with a right of drainage over Lot 3 on the Plan and Lot 2 on Sealed Plan 53317 over the land marked "DRAINAGE EASEMENT 3m WIDE" on the Plan.


Lots 1, 2 and 3 on the Plan are subject to a PIPELINE AND SERVICES EASEMENT in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 4m WIDE" on the Plan.

"Pipeline and Services Easement" is defined as follows:-

FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Dale Brendan Cox & Skye Cox FOLIO REF: 53317/1 SOLICITOR & REFERENCE: Julie Byrne Legal - 20210337	PLAN SEALED BY: Meander Valley Council DATE: 17.6.2022 PA/21/0148 REF NO.  <b>J. Jordan</b> GENERAL MANAGER Council Delegate
<b>NOTE:</b> The Council Delegate must sign the Certificate for the purposes of identification.	




<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p>PAGE 2 OF 4 PAGES</p>	<p>Registered Number</p> <p><b>SP,182048</b></p>
<p>SUBDIVIDER: DALE BRENDAN COX &amp; SKYE COX FOLIO REFERENCE: 53317/1</p>	

- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
  - (a) without doing unnecessary damage to the Easement Land; and
  - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

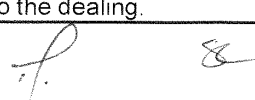
SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

Interpretation:

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p>PAGE 3 OF 4 PAGES</p>	<p>Registered Number</p> <p><b>SP182048</b></p>
<p>SUBDIVIDER: DALE BRENDAN COX &amp; SKYE COX FOLIO REFERENCE: 53317/1</p>	

- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

“TasWater” means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

FENCING COVENANT

The Owner of each Lot on the Plan covenants with Dale Brendan Cox and Skye Cox (called “the Owner”) that the Owner shall not be required to fence.

RESTRICTIVE COVENANTS Lots 1, 2 & 3 on the Plan are each burdened by the restrictive covenant created by Sealed Plan 53317 in the following terms:

~~The Owners of Lots 1, 2 and 3 on SP53317 covenant with the Vendor and the owners from time to time of every lot on the Plan to the intent that the burdens of these covenants may run with and bind the Covenantor’s lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every part of every other lot shown on the Plan, namely to observe the following stipulations:~~

~~(a) That the owner of Lots 1, 2 and 3 on the Plan shall not use the boundary of Lot 1 on SP53317 adjacent to the Bass Highway nor any point along the boundary of Lot 1 on SP53317 adjacent to River Road lying within 40 metres of the intersection of River Road and the Bass Highway for the purposes of gaining egress or ingress to Lots 1, 2 or 3 on the Plan.~~

~~(b) That the owners of Lots 2 and 3 on SP53317 shall not use the boundaries of their respective lots adjacent to the Bass Highway for the purposes of gaining ingress or egress to such lots unless and except such access to Lots 2 and 3 on SP53317 be within a width of 15 metres on either side from the common boundary between Lots 2 and 3 on SP53317.~~

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.





<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 4 OF 4 PAGES	Registered Number <b>SP 182048</b>
SUBDIVIDER: DALE BRENDAN COX & SKYE COX FOLIO REFERENCE: 53317/1	

Signed by **DALE BRENDAN COX**  
and **SKYE COX** the registered  
proprietors of the land in Folio of  
the Register Volume 53317 Folio 1  
in the presence of:

*[Signature]*  
15/05/2022

*[Signature]*  
15/05/2022

Witness: *[Signature]*

Full name: *Lloyd Andrew Cox*

Occupation: *Director*

Residential Address: *9 Casey Ct Deloraine Tas 7304*

Signed by **SHARON ANNE WILLIAMS**  
the registered proprietor of the land  
in Folio of the Register Volume 53317  
Folio 2 in the presence of:

*[Signature]*

Witness: *[Signature]*

Full name: *Christopher Andrew Smith*

Occupation: *Electrician*

Residential Address: *3966 Meander Valley Road Exton Tas 7303*

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



# DA

## TASMANIAN PLANNING SCHEME

### SHEET INDEX

1	COVER SHEET
2	SITE PLAN
3	SITE PLAN (1:500)
4	SOIL & WATER MANAGEMENT PLAN
5	GROUND FLOOR PLAN
6	ELEVATIONS / SECTION
7	ELEVATIONS
8	WINDOW & DOOR SCHEDULES
9	ROOF DRAINAGE PLAN
10	FLOOR COVERINGS
11	KITCHEN DETAILS
12	BATHROOM DETAILS
13	ENSUITE DETAILS
14	LAUNDRY DETAILS

### TOTAL FLOOR AREAS

MAIN DWELLING, GROUND FLOOR	
LIVING	144.13
PORCH	2.31
<b>TOTAL</b>	<b>146.44 m<sup>2</sup></b>

**HIGHLY REACTIVE / PROBLEMATIC SOIL TYPE. REFER TO HYDRAULICS PLANS AND DETAILS PREPARED BY GANDY AND ROBERTS**

**ON SITE WASTEWATER TREATMENT REQUIRED. REFER TO REPORT PREPARED BY GES (TBC)**

### AS & NCC COMPLIANCE

- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NCC 2022 AND APPLICABLE AUSTRALIAN STANDARDS AT TIME OF APPROVAL.
- SLAB IN ACCORDANCE WITH AS 2870. REFER TO ENGINEERS DETAILS FOR ALL SLAB DETAILS.
  - BRICK CONTROL JOINTS PROVIDED IN ACCORDANCE WITH NCC 2022.
  - ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-2020 OR AS/NZS 4600-2018.
  - INSULATION TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 AND ALL APPLICABLE AUSTRALIAN STANDARDS.
  - TERMITE PROTECTION IN ACCORDANCE WITH AS 3660 AND NCC 2022.
  - GLAZING IN ACCORDANCE WITH AS 1288 AND NCC 2022.
  - SMOKE ALARMS IN ACCORDANCE WITH AS 3786 AND NCC 2022.
  - INTERNAL WATERPROOFING IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS PART 10.2.
  - EXTERNAL WATERPROOFING IN ACCORDANCE WITH AS 3740 AND AS 4654.
  - WET AREA FLOORS TO FALL TO FLOOR WASTES AT MIN. 1:80 AND MAX. 1:50 GRADE (IF APPLICABLE).
  - CONDENSATION MANAGEMENT IN ACCORDANCE WITH NCC 2019.
  - BUILDING SEALING IN ACCORDANCE WITH NCC 2022.
  - SERVICES IN ACCORDANCE WITH NCC 2022.
  - EARTHWORKS IN ACCORDANCE WITH AS 3798-2007.
  - EXTERNAL WALL WRAP (SARKING) IN ACCORDANCE WITH NCC 2022 (IF APPLICABLE).
  - EXHAUST FANS DUCTED TO OUTSIDE AIR (IF APPLICABLE).

### SITE SPECIFIC CONTROLS

CONTROL	DETAILS
ACID SULPHATE SOIL	NO
BIODIVERSITY	NO
BUILDING ENVELOPE	NO
BUSHFIRE	BAL-19
CLIMATE ZONE (NCC)	ZONE 7 - COOL TEMPERATE
DESIGN WIND CLASSIFICATION	N3 (NOT EXPOSED)
ESTATE/DEVELOPER GUIDELINES	NO
FLOOD OVERLAY	NO
HERITAGE	NO
LANDSLIP HAZARD	NO
MINIMUM FLOOR LEVEL	NO
NATURAL ASSET CODE	NO
NOISE ATTENUATION	NO
SALINE SOIL	NO
SHIELDING FACTOR	NS - NO SHIELDING
SITE CLASSIFICATION	H1
SPECIFIC AREA PLAN OVERLAY	NO
TERRAIN CATEGORY	TC2
TOPOGRAPHIC CLASSIFICATION	T1
WATERWAY & COASTAL OVERLAY	YES
WIND REGION	A - NORMAL
WITHIN 1km CALM SALT WATER	NO
WITHIN 50km BREAKING SURF	44.00km
ZONING	VILLAGE

### BUILDING CONTROLS & COMPLIANCE

CONTROL	REQUIRED	PROPOSED
<b>SETBACKS</b>		
FRONT	MIN. 4,500mm	46,180mm
SIDE A	MIN. 3,000mm	10,000mm
SIDE B	MIN. 3,000mm	31,562mm
REAR	MIN. 3,000mm	52,803mm
<b>BULK &amp; SCALE</b>		
SITE AREA	7,353m <sup>2</sup>	
SITE COVERAGE	MAX. 50%	1.99%
BUILDING HEIGHT	MAX. 8,500mm	6,000mm
<b>LANDSCAPE</b>		
NO APPLICABLE CONTROLS		
<b>EARTHWORKS</b>		
CUT DEPTH	MAX. 2,000mm	98mm
FILL DEPTH	MAX. 1,000mm	216mm
<b>ACCESS &amp; AMENITY</b>		
PARKING SPACES	MIN. 2 SPACES	2 SPACES

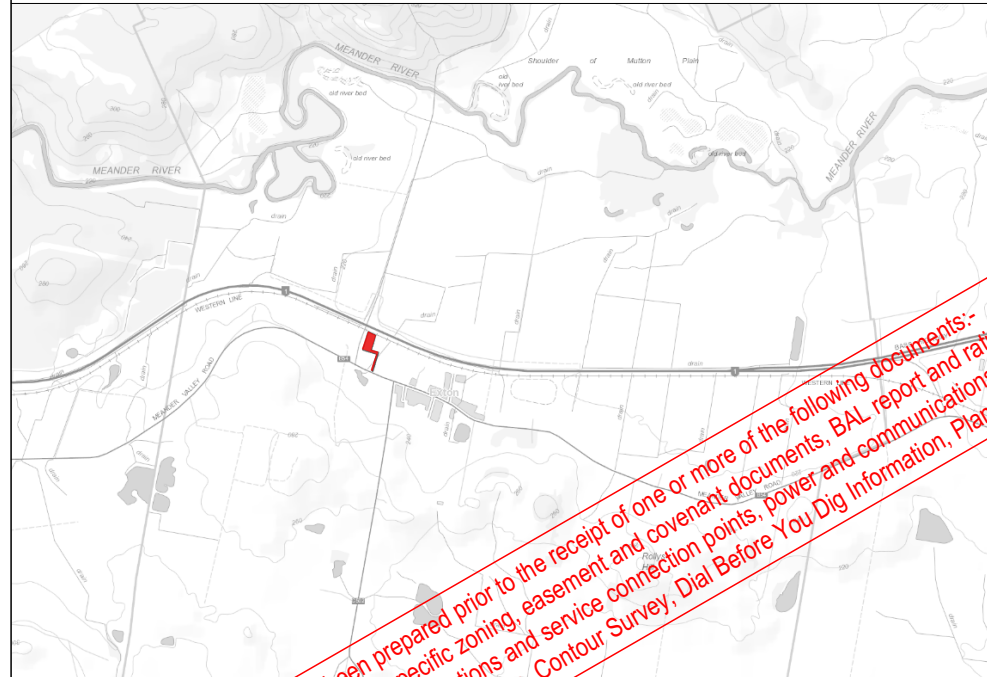
### 3D PERSPECTIVE



### NOTE TO OWNER

THESE PLANS MAY FEATURE WORKS THAT ARE EXCLUDED FROM THE SCOPE OF WORKS WITH THE BUILDER, BUT THEY HAVE BEEN INCLUDED IN THESE DRAWINGS TO ASSIST IN THE OVERALL PLANNING AND ASSESSMENT OF THE BUILDING PROJECT. EXAMPLES OF SOME REGULARLY EXCLUDED WORKS INCLUDE DRIVEWAYS, RETAINING WALLS, SOLAR PANEL SPACING AND SITE DRAINAGE. PLEASE REFER TO YOUR SCOPE OF WORKS AND COLOUR SELECTIONS DOCUMENTATION FOR DETAILS OF INCLUDED WORKS. SOME DETAILS ARE INDICATIVE ONLY FOR EXAMPLE FLOORING, TILING, BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

### LOCATION MAP



*This Plan has been prepared prior to the receipt of one or more of the following documents:- Certificate of Title inclusive of lot specific zoning, easement and covenant documents, BAL report and rating, approved subdivision plans providing crossover locations and service connection points, power and communications connection point information, Geotechnical Site Investigation, Contour Survey, Dial Before You Dig information, Planning Approval.*

### BUILDING INFORMATION

GROUND FLOOR TOP OF WALL HEIGHT(S)	2450mm
NOTE: CEILING HEIGHT 45mm LOWER THAN TOP OF WALL	
ROOF PITCH (U.N.O.)	23.0°
ELECTRICITY SUPPLY	SINGLE PHASE
GAS SUPPLY	NONE
ROOF MATERIAL	SHEET METAL
ROOF COLOUR	N/A
WALL MATERIAL	BRICK VENEER
SLAB CLASSIFICATION	TBC

### INSULATION

ROOF	MIN. 60mm FOIL FACED BLANKET UNDER ROOFING
CEILING	R4.1 BATTS (EXCL. GARAGE, ALFRESCO & PATIO)
EXT. WALLS	R2.0 BATTS (EXCL. GARAGE)
INT. WALLS	R2.0 BATTS ADJACENT TO GARAGE AND AS PER PLAN
FLOOR	BIAX SLAB

### BUSHFIRE REQUIREMENTS - BAL-19

THE BUILDER USES MATERIALS THAT COMPLY WITH AS 3959-2018 OR HAVE BEEN TESTED TO AS 1530.8.1 IN ACCORDANCE WITH AS 3959-2018 (CLAUSE 3.8).

- ROOF:
- PROVIDE FOIL FACED BLANKET INSULATION TO ALL COLORBOND SHEET ROOFING.
  - PROVIDE SARKING TO ALL TILED ROOFING INCLUDING PRESSTITE TO VALLEYS.
  - PROVIDE BAL-19 RATED DEKTITE TO ALL AIR VENTS ON ROOF.
  - PROVIDE BAL-19 RATED ALUMINIUM MESH TO ALL SOFFIT AND EAVE VENTS.
  - PROVIDE BAL-19 RATED ALUMINIUM MESH TO ALL EXHAUST VENTS.

- WALLS, POSTS AND BEAMS:
- EXTERNAL TIMBER POSTS WITHIN 400mm OF ADJACENT FINISHED FLOOR LEVEL TO BE BUSHFIRE-RESISTING TIMBER UNLESS MOUNTED ON STIRRUPS TO PROVIDE MIN. 75mm CLEARANCE ABOVE ADJACENT FINISHED FLOOR LEVEL.
  - PROVIDE SPARK ARRESTORS TO ALL EXTERNAL BRICKWORK.

- WINDOWS AND DOORS:
- PROVIDE FLYSCREENS WITH CORROSION RESISTANT MESH TO ALL OPERABLE WINDOW SASHES (NO REQUIREMENT TO SCREEN BI-FOLD / FRENCH / SLIDING / STACKER DOORS).
  - PROVIDE BAL-19 RATED ALUMINIUM WINDOWS AND EXTERNAL GLASS SLIDING / STACKER DOORS.
  - SPECIFIED ALUMINIUM FRENCH DOORS HAVE BEEN TESTED TO AS 1530.8.1 WITHOUT SCREENS.
  - SPECIFIED ALUMINIUM WINDOWS HAVE BEEN TESTED TO AS 1530.8.1 WITHOUT SCREENS TO FIXED PANELS.
  - PROVIDE ALUMINIUM DOOR JAMBS TO ALL EXTERNAL TIMBER DOORS.
  - PROVIDE SAFETY SCREENS WITH CORROSION RESISTANT MESH TO EXTERNAL TIMBER HUNG DOORS (IF REQUIRED).
  - PROVIDE SEAL TO ALL GARAGE PANELIFT / ROLLER DOORS.

- OTHER:
- PROVIDE COPPER WATER PIPES FROM WATER TANK TO HOUSE.

THE OWNERS ACKNOWLEDGE THAT THESE CONTRACT PLANS MAY NOT REFLECT ALL THE SELECTIONS THAT HAVE BEEN MADE OR CHANGES REQUESTED. THE OWNERS AGREE THAT FOLLOWING THE COLOUR SELECTIONS VARIATION OR UPDATING OF PLANS, THEY WILL BE PROVIDED WITH CONSTRUCTION PLANS FOR SIGNATURE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

**SUBJECT TO NCC 2022 (1 MAY 2023)**  
WATERPROOFING & PLUMBING

**PLAN ACCEPTANCE BY OWNER**

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

### PRELIMINARY PLAN SET

6	PRELIMINARY PLAN SET - VARIATION REF.001 UPDATE	2,3,5	2024.06.13	HMI	-
5	PRELIMINARY PLAN SET - INITIAL ISSUE	ALL	2024.04.18	HMI	DKZ
No.	AMENDMENT	SHEET	DATE	DRAWN	CHECK

© 2024 WILSON HOMES PTY LTD (ABN 96 126 636 897). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). WILSON HOMES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF WILSON HOMES PTY LTD.

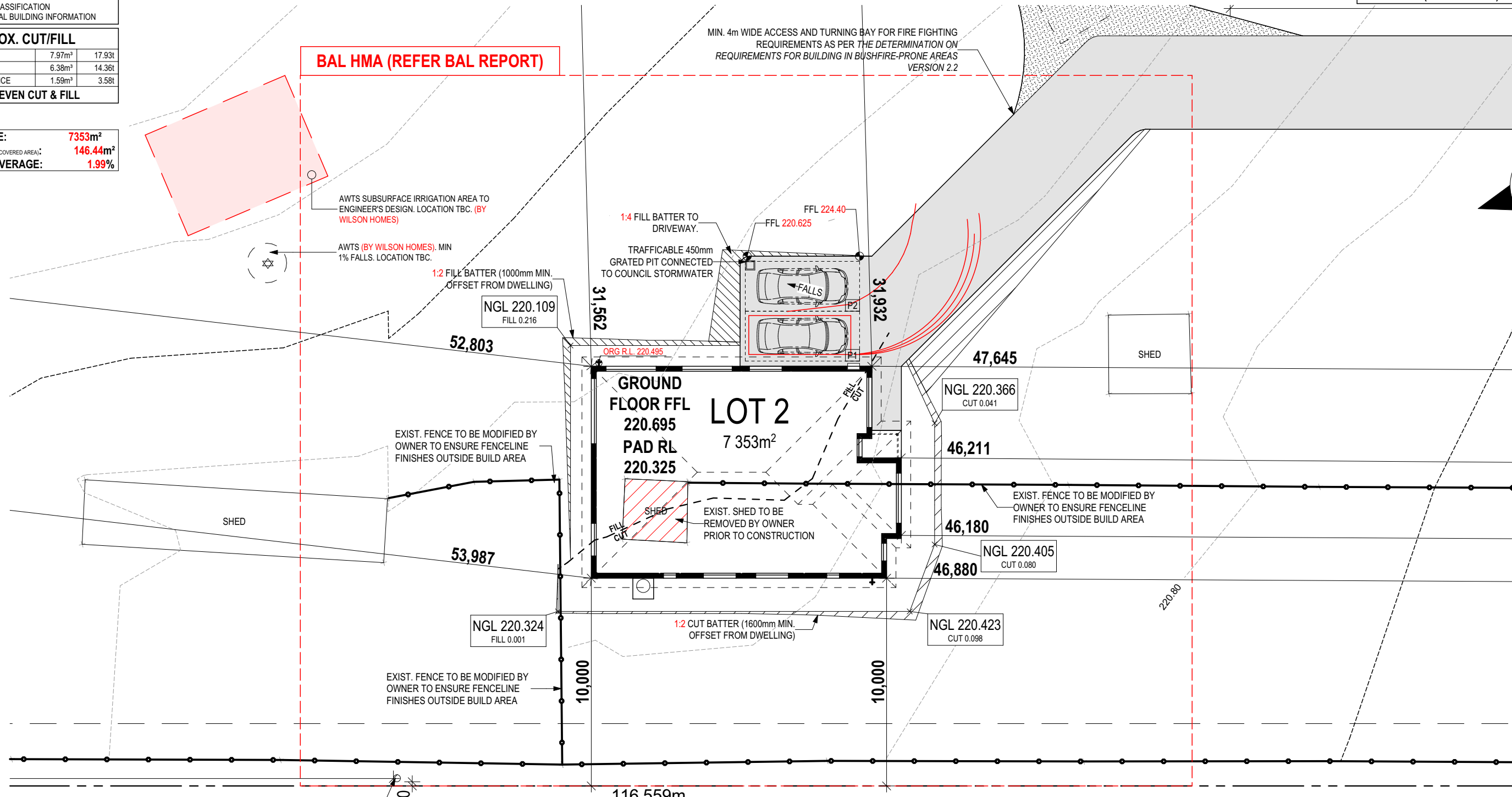
	SPECIFICATION:	REVISION		DRAWN		CLIENT:		HOUSE DESIGN:		HOUSE CODE:		DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
	DISCOVERY	2	CT AMENDMENTS	JOL	29/11/2023	CLAIRE AUDREY LITTLE & ALEXANDRE LARGET		OLINDA 15		H-WDCOLN10SA		
	COPYRIGHT:	3	CT2 AMENDMENTS	JOL	18/12/2023	ADDRESS:		FACADE DESIGN:		FACADE CODE:		
	© 2024	4	CT3 AMENDMENTS	JOL	22/01/2024	3976 MEANDER VALLEY, EXTON TAS 7303		CLASSIC		F-WDCOLN10CLASA		
		5	PRELIM PLANS - INITIAL ISSUES	HMI	18/04/2024	LOT / SECTION / CT:		SHEET TITLE:		SHEET No.:		
		6	PRELIM PLANS - VAR.REF.001 UPDATE	HMI	13/06/2024	2 / - / 182048		COVER SHEET		1 / 14		
						COUNCIL:	MEANDER VALLEY COUNCIL		SCALES:		713913	

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:  
 - SUSTAINABILITY REQUIREMENTS  
 - SITE CLASSIFICATION  
 - GENERAL BUILDING INFORMATION

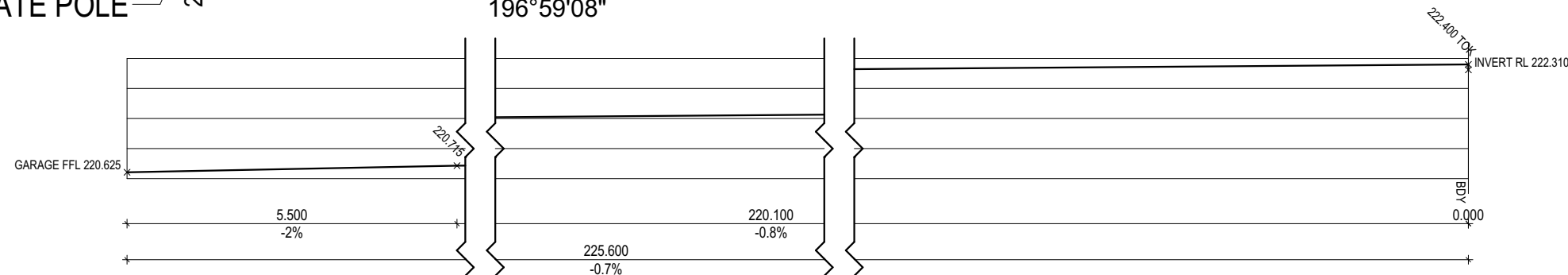
APPROX. CUT/FILL		
CUT	7.97m³	17.93t
FILL	6.38m³	14.36t
DIFFERENCE	1.59m³	3.58t
EVEN CUT & FILL		

LOT SIZE: 7353m²  
 HOUSE (COVERED AREA): 146.44m²  
 SITE COVERAGE: 1.99%

BAL-19 BUSHFIRE REQUIREMENTS  
 SEE SHEET 1 (COVER SHEET) FOR DETAILS



DRIVEWAY DETAILS  
 SCALE: 1:100



**SUBJECT TO NCC 2022  
 (1 MAY 2023)  
 WATERPROOFING & PLUMBING**

**PLAN ACCEPTANCE BY OWNER**

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

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SPECIFICATION: <b>DISCOVERY</b> COPYRIGHT: © 2024	REVISION	DRAWN	CLIENT:	HOUSE DESIGN:	HOUSE CODE:	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.  <b>713913</b>
	2 CT AMENDMENTS	JOL 29/11/2023	CLAIRE AUDREY LITTLE & ALEXANDRE LARGET	OLINDA 15	H-WDCOLN10SA	
	3 CT2 AMENDMENTS	JOL 18/12/2023	ADDRESS:	FACADE DESIGN:	FACADE CODE:	
	4 CT3 AMENDMENTS	JOL 22/01/2024	3976 MEANDER VALLEY, EXTON TAS 7303	CLASSIC	F-WDCOLN10CLASA	
	5 PRELIM PLANS - INITIAL ISSUES	HMI 18/04/2024	LOT / SECTION / CT:	SHEET TITLE:	SHEET No.:	
	6 PRELIM PLANS - VAR.REF.001 UPDATE	HMI 13/06/2024	2 / - / 182048	COUNCIL: MEANDER VALLEY COUNCIL	2 / 14	
				SITE PLAN	SCALES: 1:200, 1:100	

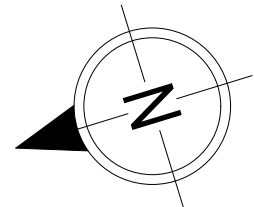
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 File Location: P:\8\_Drafting\Job Files\713913 - Little Plans\713913 Little - AC24 - 2024.06.013.ppt  
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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:  
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 - SITE CLASSIFICATION  
 - GENERAL BUILDING INFORMATION

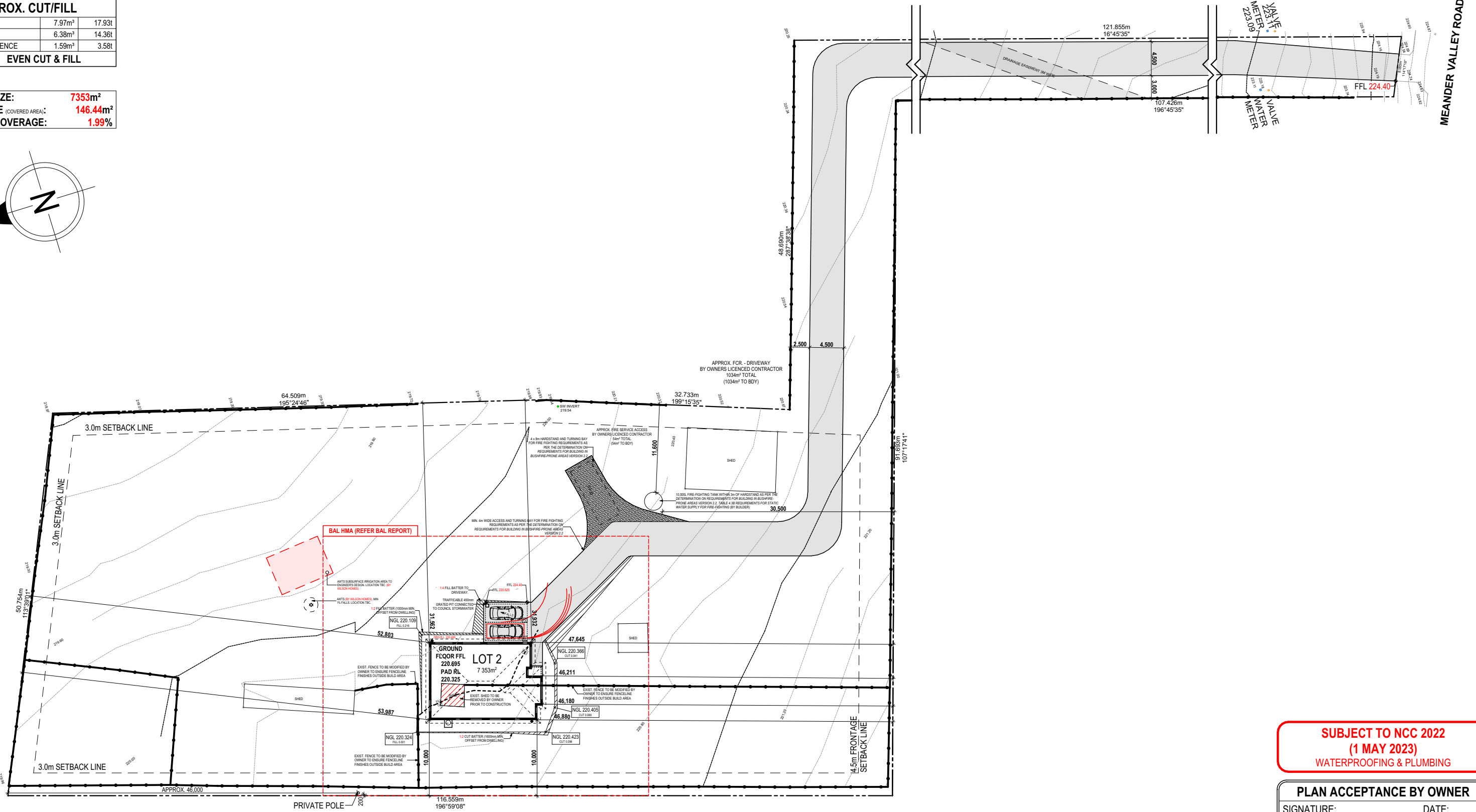
APPROX. CUT/FILL		
CUT	7.97m <sup>3</sup>	17.93t
FILL	6.38m <sup>3</sup>	14.36t
DIFFERENCE	1.59m <sup>3</sup>	3.58t

**EVEN CUT & FILL**

**LOT SIZE:** 7353m<sup>2</sup>  
**HOUSE (COVERED AREA):** 146.44m<sup>2</sup>  
**SITE COVERAGE:** 1.99%



**BAL-19 BUSHFIRE REQUIREMENTS**  
 SEE SHEET 1 (COVER SHEET) FOR DETAILS



**SUBJECT TO NCC 2022**  
**(1 MAY 2023)**  
**WATERPROOFING & PLUMBING**

**PLAN ACCEPTANCE BY OWNER**

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© 2024	4 CT3 AMENDMENTS	JOL 22/01/2024	3976 MEANDER VALLEY, EXTON TAS 7303	CLASSIC	F-WDCOLN10CLASA	
	5 PRELIM PLANS - INITIAL ISSUES	HMI 18/04/2024	LOT / SECTION / CT:	SHEET TITLE:	SHEET No.:	
	6 PRELIM PLANS - VAR.REF.001 UPDATE	HMI 13/06/2024	2 / - / 182048	SITE PLAN (1:500)	3 / 14	
			COUNCIL:	MEANDER VALLEY COUNCIL	SCALES:	713913

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- GENERAL BUILDING INFORMATION

MAIN DWELLING, GROUND FLOOR	
LIVING	144.13
PORCH	2.31
	<b>146.44 m<sup>2</sup></b>

ALL MECHANICAL VENTILATION TO BE DISCHARGED TO OUTDOOR AIR AS PER NCC 2022 REQUIREMENTS

FIRE RESISTANT PLASTERBOARD TO BE INSTALLED BEHIND COOKTOP

ALL GROUND FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2155 ABOVE FFL UNLESS NOTED OTHERWISE

REFER TO WINDOW AND DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS. PLEASE NOTE WINDOW AND DOOR SIZES ARE BASED ON MANUFACTURERS SPECIFICATIONS AT DEPOSIT STAGE AND MAY DIFFER SLIGHTLY TO THE SIZES NOMINATED IN THE SCOPE OF WORKS DUE TO MANUFACTURING CHANGES AT THE TIME OF CONSTRUCTION.

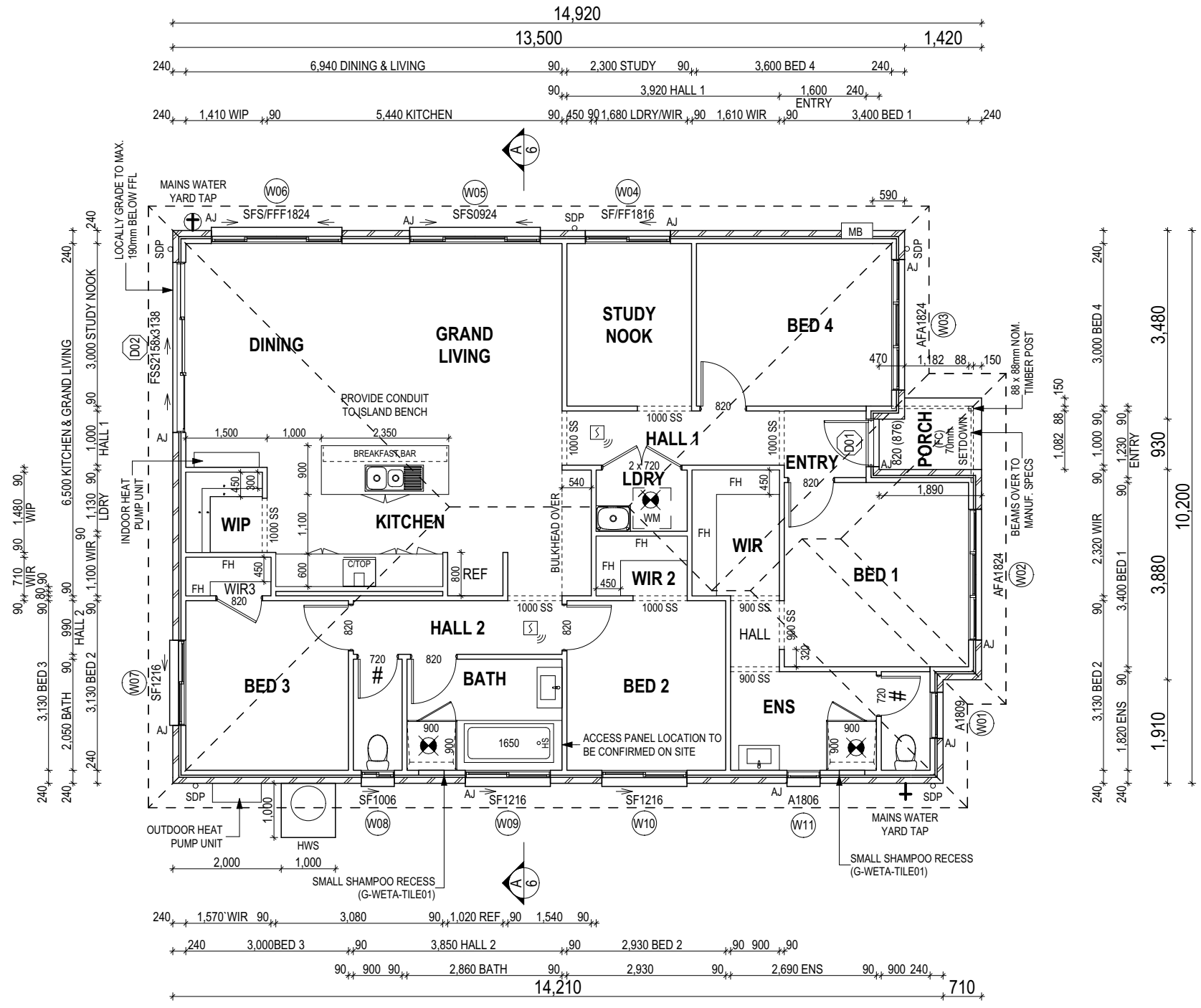
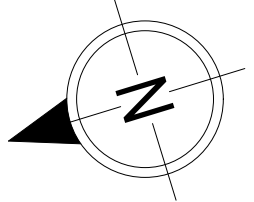
FINAL WINDOW AND EXTERIOR DOOR LOCATIONS MAY BE ADJUSTED ON SITE TO SUIT BRICKWORK GAUGE

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:



ANY PART OF THE FASCIA, GUTTERING OR DOWNPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH NCC 2022

ALL EXTERIOR SLABS TO BE GRADED BY CONCRETE TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.



**LEGEND**

HS / WS	HOB SPOUT / WALL SPOUT
	FACE BRICK / COMMON BRICK
	RENDER
	SOUND INSULATION
AJ	BRICK ARTICULATION JOINT
SDP	STANDARD DOWNPIPE
CDP	CHARGED DOWNPIPE
	DENOTES DRAWER SIDE
	MECHANICAL VENTILATION
L.B.W	LOAD BEARING WALL
PB	PLASTERBOARD
FC	FIBRE CEMENT
	THIS DOOR OPENS FIRST
	SMOKE ALARM
#	LIFT OFF HINGE
+	WATER POINT
	FLOOR WASTE
	GAS BAYONET

**ALL DIMENSIONS ARE FRAME DIMENSIONS**

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**(1 MAY 2023)**  
**WATERPROOFING & PLUMBING**

**PLAN ACCEPTANCE BY OWNER**

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SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

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	6 PRELIM PLANS - VAR.REF.001 UPDATE	HMI 13/06/2024	2 / - / 182048	GROUND FLOOR PLAN	5 / 14	
			COUNCIL:	MEANDER VALLEY COUNCIL	SCALES:	713913
					1:100	Template Version: 24.033

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**BAL-19 BUSHFIRE REQUIREMENTS**  
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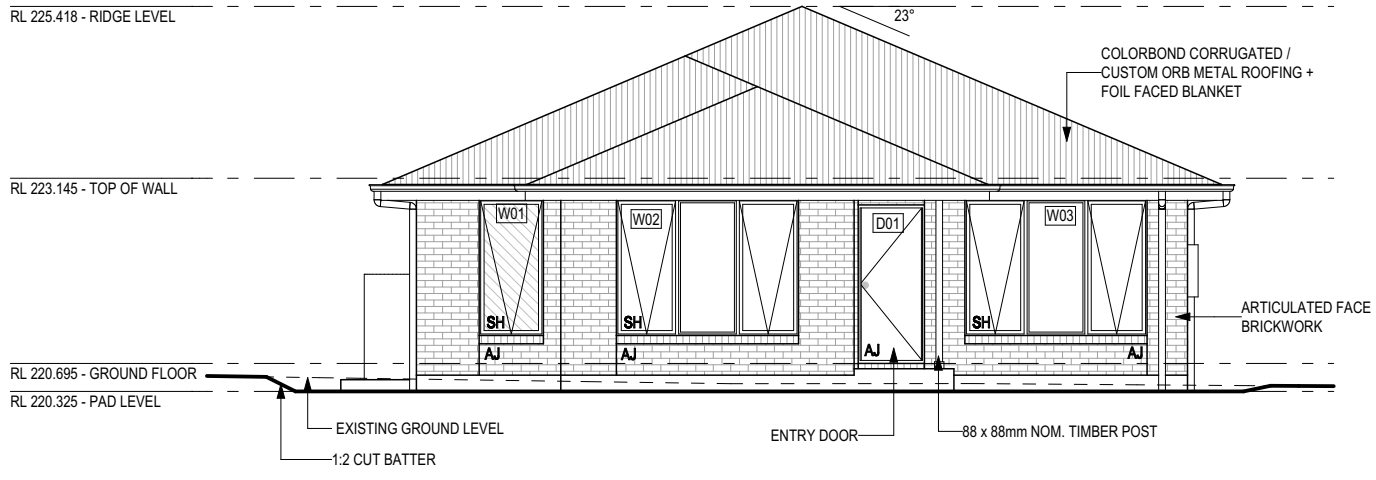
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SH = SNAP HEADER SILL

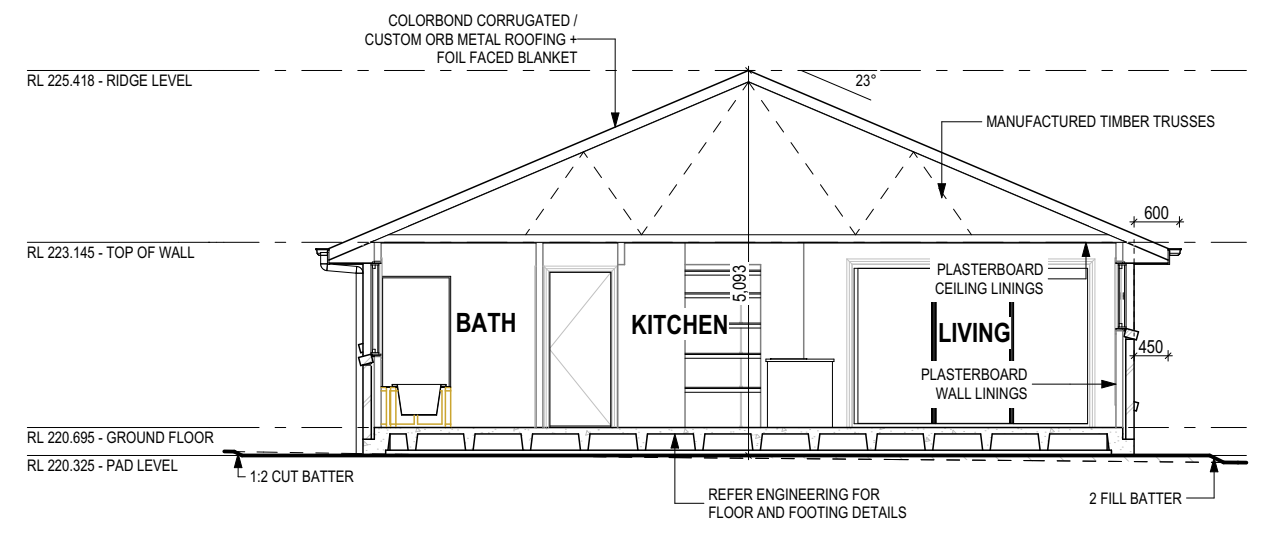
BEDROOM WINDOW OPENINGS ABOVE 2m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

ROOMS OTHER THAN BEDROOM WINDOW OPENINGS ABOVE 4m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

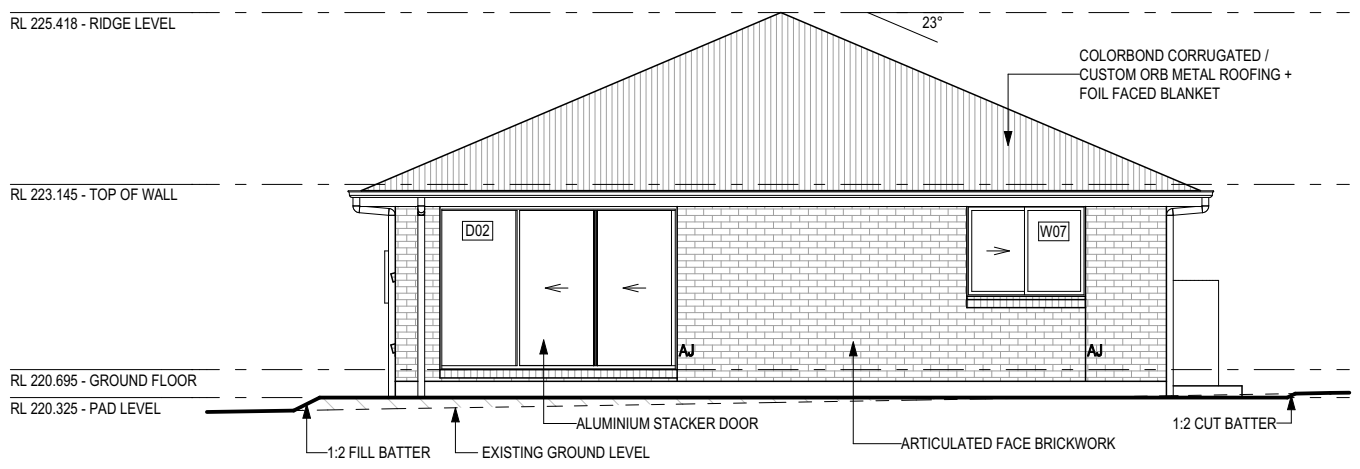
REFER TO THE FOLLOWING DETAILS:  
BRICK COURSING W-BRIC-001



**SOUTH ELEVATION**  
SCALE: 1:100

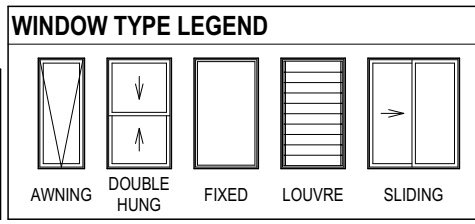
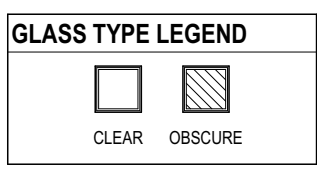


**SECTION A-A**  
SCALE: 1:100



**NORTH ELEVATION**  
SCALE: 1:100

**SUBJECT TO NCC 2022**  
**(1 MAY 2023)**  
**WATERPROOFING & PLUMBING**



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2 CT AMENDMENTS	JOL 29/11/2023
3 CT2 AMENDMENTS	JOL 18/12/2023
4 CT3 AMENDMENTS	JOL 22/01/2024
5 PRELIM PLANS - INITIAL ISSUES	HMI 18/04/2024
6 PRELIM PLANS - VAR.REF.001 UPDATE	HMI 13/06/2024

CLIENT:	CLAIRE AUDREY LITTLE & ALEXANDRE LARGET
ADDRESS:	3976 MEANDER VALLEY, EXTON TAS 7303
LOT / SECTION / CT:	2 / - / 182048
COUNCIL:	MEANDER VALLEY COUNCIL

HOUSE DESIGN:	OLINDA 15
FACADE DESIGN:	CLASSIC
SHEET TITLE:	ELEVATIONS / SECTION
SHEET No.:	6 / 14

HOUSE CODE:	H-WDCOLN10SA
FACADE CODE:	F-WDCOLN10CLASA
SCALES:	1:100

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**713913**

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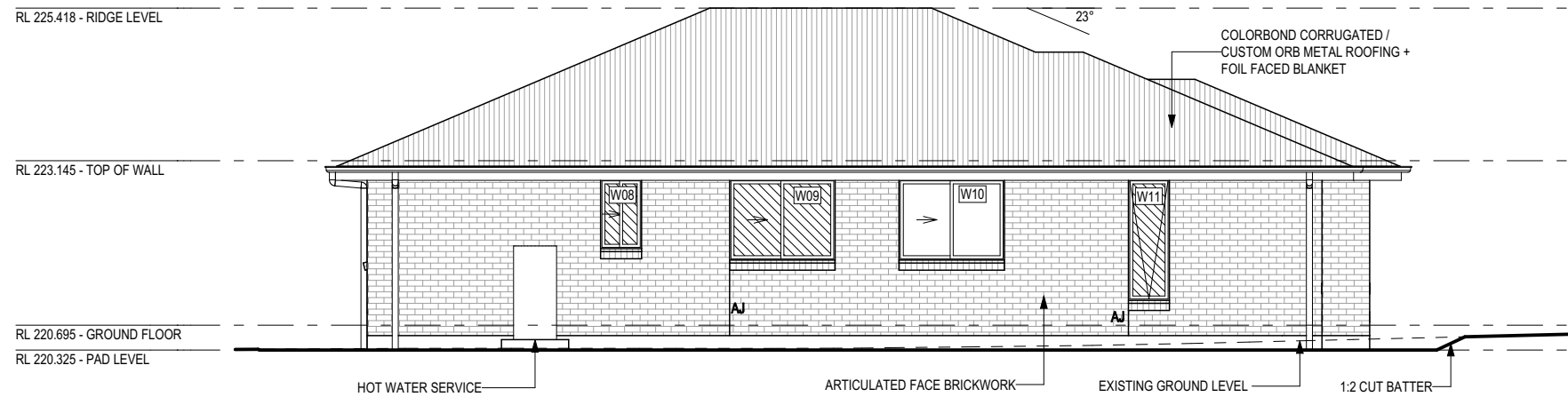
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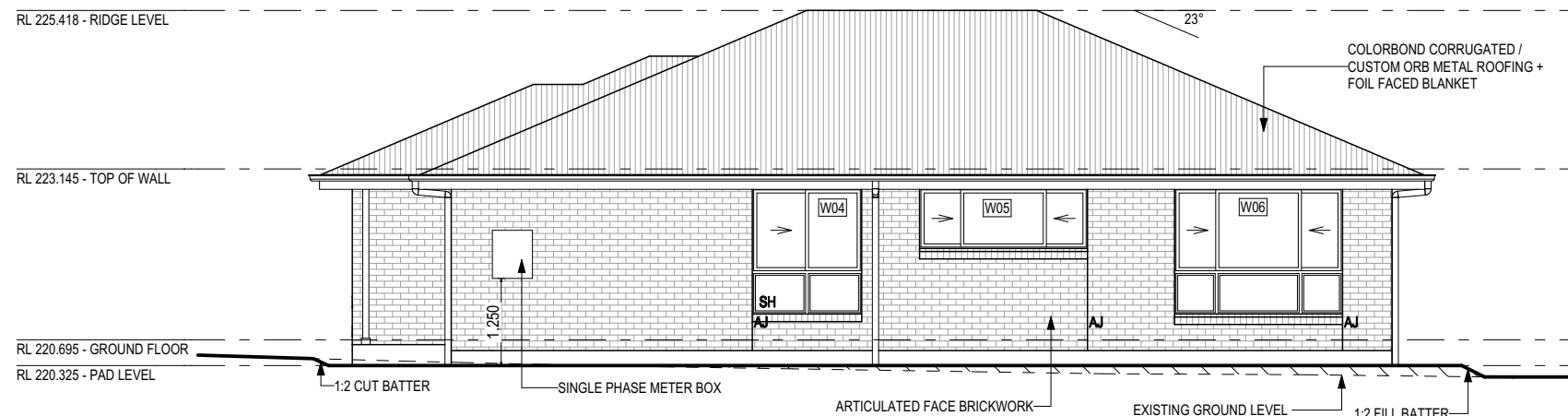
BEDROOM WINDOW OPENINGS ABOVE 2m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

ROOMS OTHER THAN BEDROOM WINDOW OPENINGS ABOVE 4m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

REFER TO THE FOLLOWING DETAILS:  
BRICK COURSING W-BRIC-001



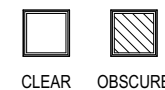
**WEST ELEVATION**  
SCALE: 1:100



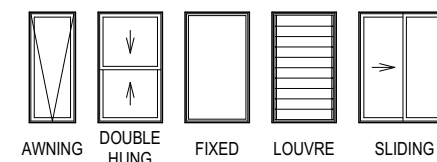
**EAST ELEVATION**  
SCALE: 1:100

**SUBJECT TO NCC 2022**  
**(1 MAY 2023)**  
**WATERPROOFING & PLUMBING**

**GLASS TYPE LEGEND**



**WINDOW TYPE LEGEND**



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			MEANDER VALLEY COUNCIL			

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**EXTERIOR WINDOW & DOOR SCHEDULE** 1,2 ASSUME LOOKING FROM OUTSIDE

STOREY	ID	CODE <sup>1</sup>	TYPE	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m <sup>2</sup> )	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING AREA (m <sup>2</sup> )	GLAZING TYPE (SINGLE GLAZING U.N.O.)	ADDITIONAL INFORMATION <sup>2</sup>	
<b>WINDOW</b>																
GROUND FLOOR	W01	A1809	AWNING	WC	1,800	850	5,300	1.53	ALUMINIUM	BAL-19	SNAP HEADER	S	1.21	OBSCURE, DOUBLE GLAZED		
GROUND FLOOR	W02	AFA1824	AWNING	BED 1	1,800	2,410	8,420	4.34	ALUMINIUM	BAL-19	SNAP HEADER	S	3.53	CLEAR, DOUBLE GLAZED	MP 803-803	
GROUND FLOOR	W03	AFA1824	AWNING	BED 4	1,800	2,410	8,420	4.34	ALUMINIUM	BAL-19	SNAP HEADER	S	3.53	CLEAR, DOUBLE GLAZED	MP 803-803	
GROUND FLOOR	W04	SF/FF1816	SLIDING	STUDY NOOK	1,800	1,570	6,740	2.83	ALUMINIUM	BAL-19	SNAP HEADER	E	2.39	CLEAR, DOUBLE GLAZED	BP 600, MP 785/0	
GROUND FLOOR	W05	SFS0924	SLIDING	GRAND LIVING	860	2,410	6,540	2.07	ALUMINIUM	BAL-19	ANGLED	E	1.78	CLEAR, DOUBLE GLAZED		
GROUND FLOOR	W06	SFS/FFF1824	SLIDING	DINING	1,800	2,410	8,420	4.34	ALUMINIUM	BAL-19	ANGLED	E	3.70	CLEAR, DOUBLE GLAZED	BP 600, MP 603-1205/0	
GROUND FLOOR	W07	SF1216	SLIDING	BED 3	1,200	1,570	5,540	1.88	ALUMINIUM	BAL-19	ANGLED	N	1.64	CLEAR, DOUBLE GLAZED		
GROUND FLOOR	W08	SF1006	SLIDING	WC	1,030	610	3,280	0.63	ALUMINIUM	BAL-19	ANGLED	W	0.47	OBSCURE, DOUBLE GLAZED		
GROUND FLOOR	W09	SF1216	SLIDING	BATH	1,200	1,570	5,540	1.88	ALUMINIUM	BAL-19	ANGLED	W	1.64	OBSCURE, DOUBLE GLAZED		
GROUND FLOOR	W10	SF1216	SLIDING	BED 2	1,200	1,570	5,540	1.88	ALUMINIUM	BAL-19	ANGLED	W	1.64	CLEAR, DOUBLE GLAZED		
GROUND FLOOR	W11	A1806	AWNING	ENS	1,800	610	4,820	1.10	ALUMINIUM	BAL-19	ANGLED	W	0.81	OBSCURE, DOUBLE GLAZED		
								<b>26.82</b>					<b>22.34</b>			
<b>DOOR</b>																
GROUND FLOOR	D01	820	SWINGING	ENTRY	2,097	876	5,946	1.84	ALUMINIUM	BAL-19	SNAP HEADER	S	1.23	NA		
GROUND FLOOR	D02	FSS2158x3138	STACKER	DINING	2,158	3,138	10,592	6.77	ALUMINIUM	BAL-19	SNAP HEADER	N	6.02	CLEAR, DOUBLE GLAZED, TOUGHENED		
								<b>8.61</b>					<b>7.25</b>			
								<b>35.43</b>					<b>29.59</b>			

**NOTE:**  
 Provide BAL-19 rated aluminium windows and external glass sliding doors in lieu of standard.  
 Provide flyscreens with corrosion resistant mesh to all opening window sashes only.

Manufacturer - Clark Windows			
Window Type	Glazing	U-Value	SHGC
Awning	Single	6.5	0.67
	Double	4.1	0.57
Fixed	Single	5.9	0.75
	Double	3.2	0.67
Sliding	Single	6.4	0.76
	Double	4.2	0.59
Fixed Pane	Single	5.9	0.75
	Double	3.2	0.67
Fixed Glass Panel Hinged Door	Single	6.0	0.62
	Double	4.3	0.55
Sliding Door	Single	6.1	0.74
	Double	3.6	0.66
Stacking Door	Single	6.3	0.74
	Double	3.8	0.66
135 deg. Awning Bay Window	Single	6.5	0.67
	Double	4.1	0.57
135 deg. Sliding Bay Window	Single	6.5	0.76
	Double	4.2	0.59
90 deg. Awning Bay Window	Single	6.5	0.67
	Double	4.1	0.57
90 deg. Sliding Bay Window	Single	6.5	0.76
	Double	4.2	0.59
Bifold Doors	Single	6.1	0.61
	Double	4.4	0.53

**NOTE:**  
 Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures. Restricted windows to have their openability restricted as per N.C.C 11.3.6.

**INTERIOR WINDOW & DOOR SCHEDULE**

STOREY	QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING TYPE	ADDITIONAL INFORMATION
<b>DOOR</b>							
GROUND FLOOR	6	1000 SS	SQUARE SET OPENING	2,155	1,000	N/A	
GROUND FLOOR	1	2 x 720	SWINGING	2,040	1,440	N/A	
GROUND FLOOR	2	720	SWINGING	2,040	720	N/A	LIFT-OFF HINGES
GROUND FLOOR	6	820	SWINGING	2,040	820	N/A	
GROUND FLOOR	3	900 SS	SQUARE SET OPENING	2,155	900	N/A	

PICTURE, TV RECESS AND SS WINDOW OPENINGS				
QTY	TYPE	HEIGHT	WIDTH	AREA (m <sup>2</sup> )

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NOTE: INTERNAL DOORS TO WET AREAS WITH MECHANICAL VENTILATION TO BE UNDERCUT 20mm

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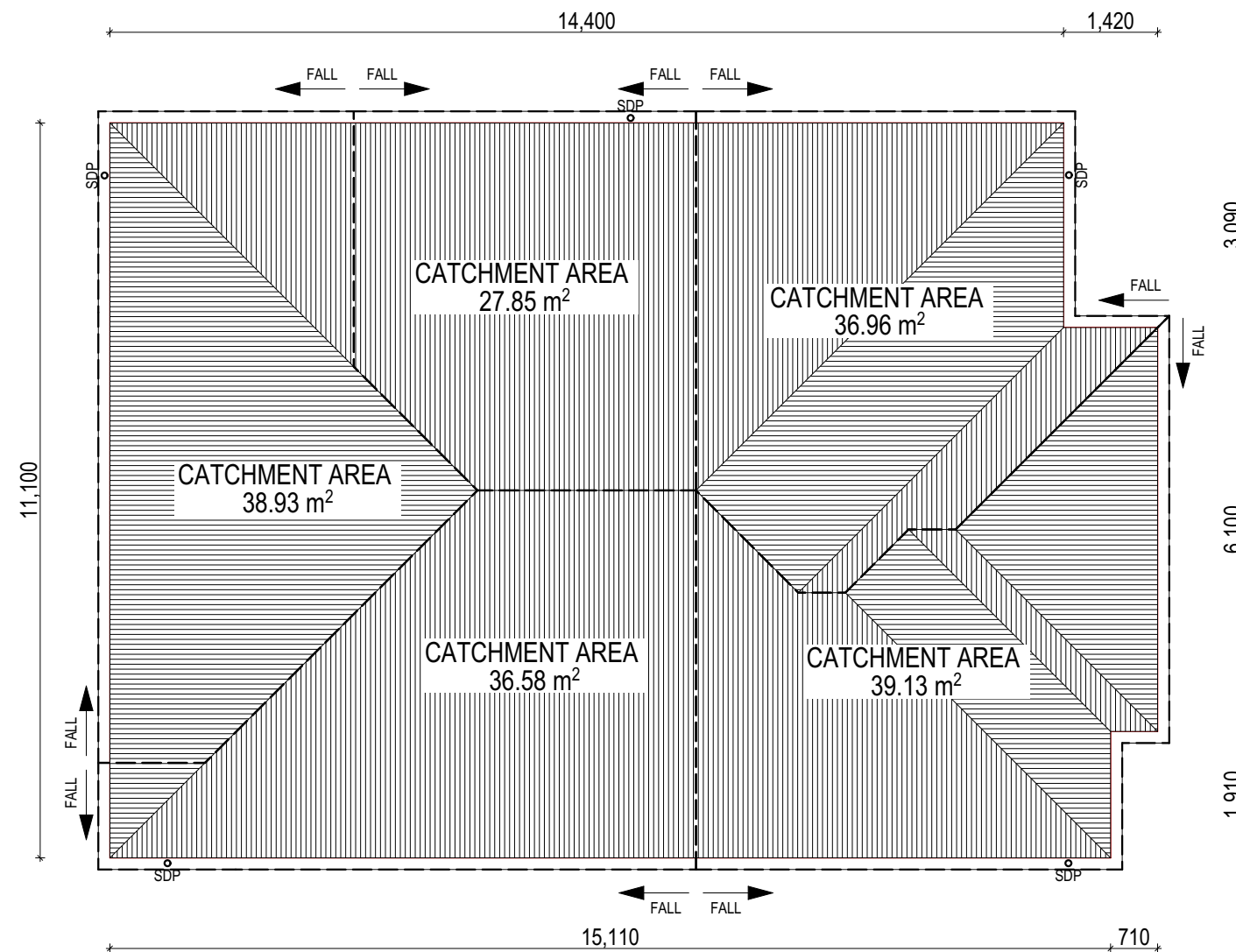
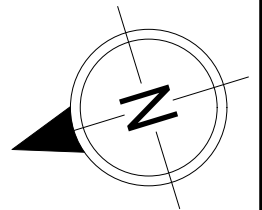
SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

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	SPECIFICATION:	DISCOVERY	REVISION	2	CT AMENDMENTS	DRAWN	JOL 29/11/2023	CLIENT:	CLAIRE AUDREY LITTLE & ALEXANDRE LARGET		HOUSE DESIGN:	OLINDA 15	HOUSE CODE:	H-WDCOLN10SA	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
	COPYRIGHT:	© 2024	3	CT2 AMENDMENTS	JOL 18/12/2023	ADDRESS:	3976 MEANDER VALLEY, EXTON TAS 7303		FACADE DESIGN:	CLASSIC	FACADE CODE:	F-WDCOLN10CLASA			
			4	CT3 AMENDMENTS	JOL 22/01/2024	LOT / SECTION / CT:	2 / - / 182048	COUNCIL:	MEANDER VALLEY COUNCIL	SHEET TITLE:	WINDOW & DOOR SCHEDULES	SHEET No.:	8 / 14		
			5	PRELIM PLANS - INITIAL ISSUES	HMI 18/04/2024										
			6	PRELIM PLANS - VAR.REF.001 UPDATE	HMI 13/06/2024										
														SCALES:	

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 File Location: P:\8\_Drafting\Job Files\713900713913 - LittlePlans\713913 Little - AC24 - 2024.06.013.pln  
 Template Version: 24.033



WHERE DOWNPIPES ARE FURTHER THAN 1.2m AWAY FROM VALLEY REFER TO N.C.C. 7.3.5(2)

POSITION AND QUALITY OF DOWNPIPES ARE NOT TO BE ALTERED WITHOUT CONSULTATION WITH DESIGNER.

AREAS SHOWN ARE SURFACE AREAS/ CATCHMENT AREAS, NOT PLAN AREAS

Roofing Data		
	169.86	Flat Roof Area (excluding gutter and slope factor) (m <sup>2</sup> )
	184.53	Roof Surface Area (includes slope factor, excludes gutter) (m <sup>2</sup> )
Downpipe roof calculations (as per AS/NZA3500.3:2018)		
Ah	179.45	Area of roof catchment (including 115mm Slotted Quad Gutter) (m <sup>2</sup> )
Ac	217.13	Ah x Catchment Area Multiplier for slope (Table 3.4.3.2 from AS/NZS 3500.3:2018) (1.21 for 23° pitch) (m <sup>2</sup> )
Ae	6300	Cross sectional area of 57 x 115 Slotted Quad Gutter (mm <sup>2</sup> )
DRI	108	Design Rainfall Intensity (determined from Table E1 from AS/NZS 3500.3:2018)
Acdp	64	Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3:2018) (m <sup>2</sup> )
Required Downpipes	3.39	Ac / Acdp
Downpipes Provided	5	

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EV SOFFIT EAVE VENT PROPOSED LOCATION TO BE MIN. 1M FROM CORNER JOINT

**SUBJECT TO NCC 2022  
(1 MAY 2023)  
WATERPROOFING & PLUMBING**

**PLAN ACCEPTANCE BY OWNER**

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

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SPECIFICATION:	DISCOVERY
COPYRIGHT:	© 2024

REVISION	DRAWN
2 CT AMENDMENTS	JOL 29/11/2023
3 CT2 AMENDMENTS	JOL 18/12/2023
4 CT3 AMENDMENTS	JOL 22/01/2024
5 PRELIM PLANS - INITIAL ISSUES	HMI 18/04/2024
6 PRELIM PLANS - VAR.REF.001 UPDATE	HMI 13/06/2024

CLIENT:	CLAIRE AUDREY LITTLE & ALEXANDRE LARGET
ADDRESS:	3976 MEANDER VALLEY, EXTON TAS 7303
LOT / SECTION / CT:	2 / - / 182048
COUNCIL:	MEANDER VALLEY COUNCIL

HOUSE DESIGN:	OLINDA 15
FACADE DESIGN:	CLASSIC
SHEET TITLE:	ROOF DRAINAGE PLAN

HOUSE CODE:	H-WDCOLN10SA
FACADE CODE:	F-WDCOLN10CLASA
SHEET No.:	9 / 14
SCALES:	1:100

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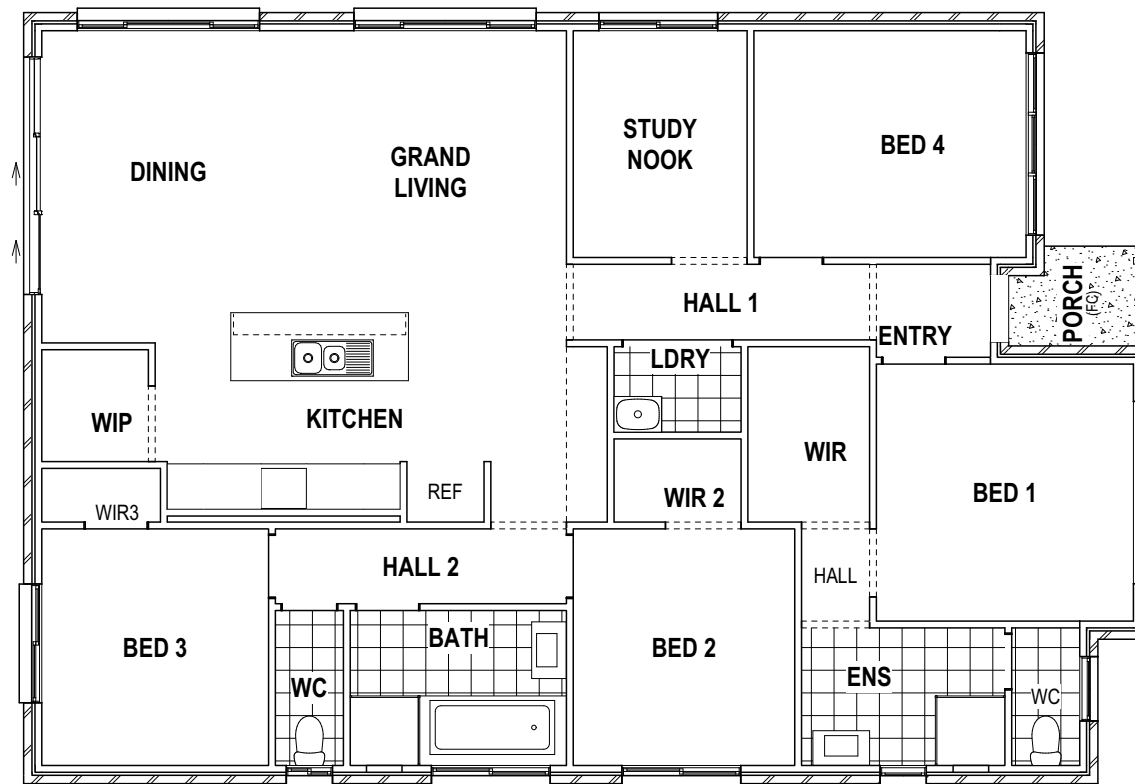
**713913**

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:  
 - SUSTAINABILITY REQUIREMENTS  
 - SITE CLASSIFICATION  
 - GENERAL BUILDING INFORMATION

FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.  
 TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

**COVERINGS LEGEND**

	NO COVERING
	COVER GRADE CONCRETE
	CARPET
	LAMINATE
	TILE (STANDARD WET AREAS)
	TILE (UPGRADED AREAS)



PRELIMINARY

**SUBJECT TO NCC 2022  
(1 MAY 2023)  
WATERPROOFING & PLUMBING**

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**BAL-19 BUSHFIRE REQUIREMENTS  
SEE SHEET 1 (COVER SHEET) FOR DETAILS**

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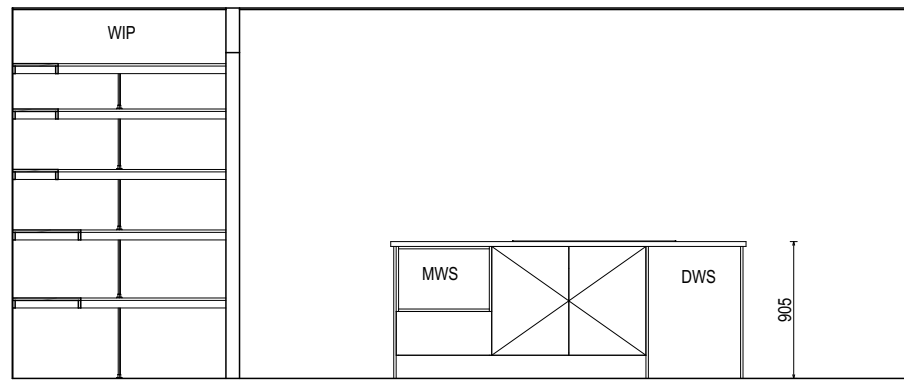


SPECIFICATION: <b>DISCOVERY</b>	REVISION	DRAWN	CLIENT: <b>CLAIRE AUDREY LITTLE &amp; ALEXANDRE LARGET</b>	HOUSE DESIGN: <b>OLINDA 15</b>	HOUSE CODE: <b>H-WDCOLN10SA</b>	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
COPYRIGHT: © 2024	2 CT AMENDMENTS	JOL 29/11/2023	ADDRESS: <b>3976 MEANDER VALLEY, EXTON TAS 7303</b>	FACADE DESIGN: <b>CLASSIC</b>	FACADE CODE: <b>F-WDCOLN10CLASA</b>	
	3 CT2 AMENDMENTS	JOL 18/12/2023	LOT / SECTION / CT: <b>2 / - / 182048</b>	SHEET TITLE: <b>FLOOR COVERINGS</b>	SHEET No.: <b>10 / 14</b>	
	4 CT3 AMENDMENTS	JOL 22/01/2024	COUNCIL: <b>MEANDER VALLEY COUNCIL</b>	SCALES: <b>1:100</b>	<b>713913</b>	
	5 PRELIM PLANS - INITIAL ISSUES	HMI 18/04/2024				
	6 PRELIM PLANS - VAR.REF.001 UPDATE	HMI 13/06/2024				

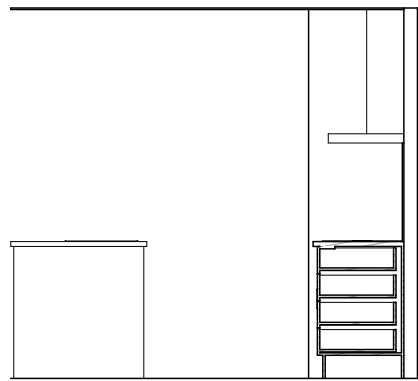
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- GENERAL BUILDING INFORMATION

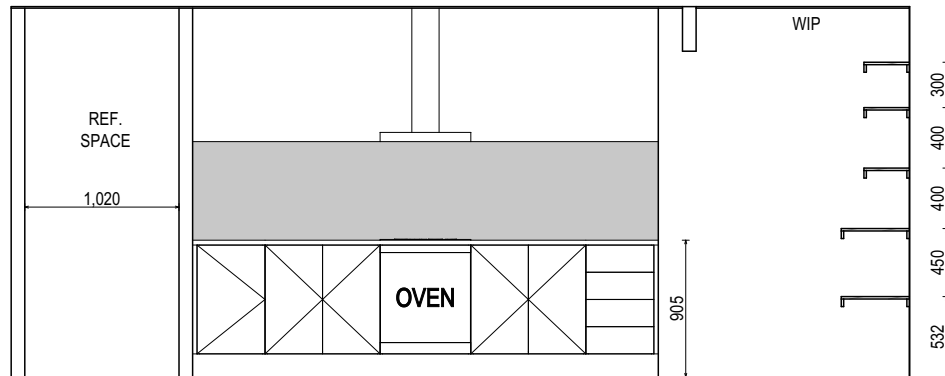
DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY. JOINER MAY ADJUST CABINETS AS REQUIRED.



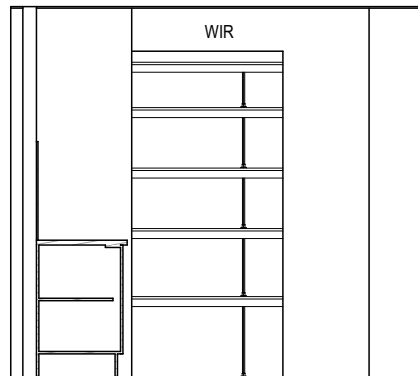
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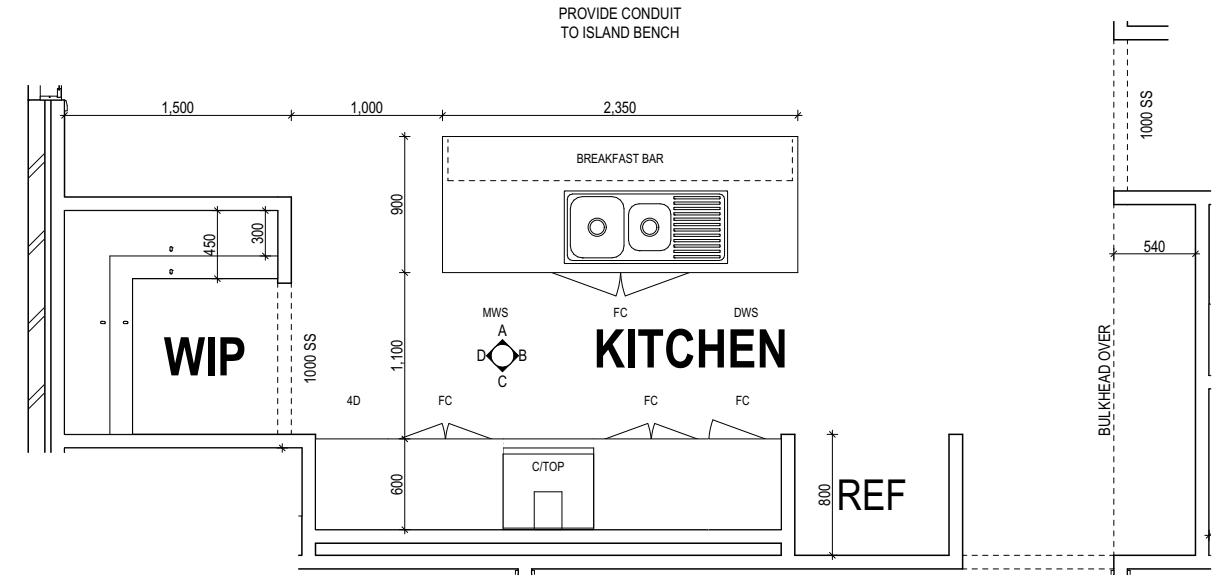
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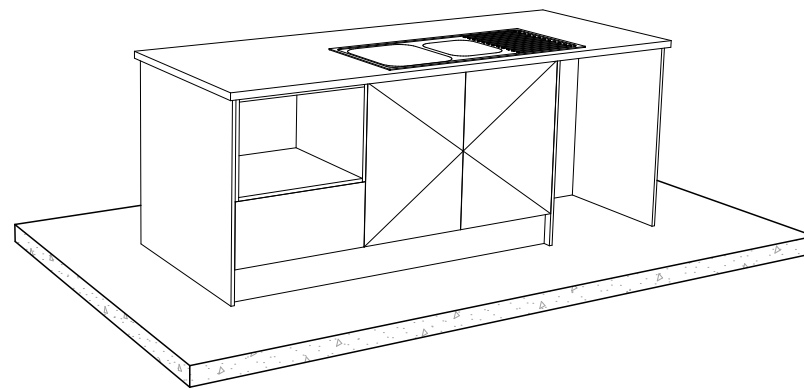
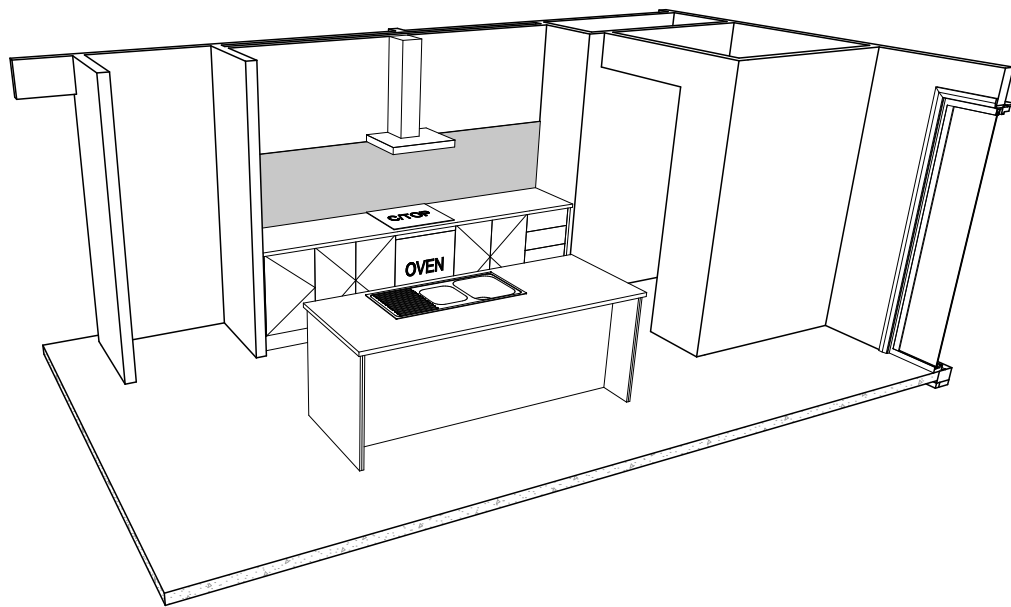
**ELEVATION C**  
SCALE: 1:50



**ELEVATION D**  
SCALE: 1:50



**KITCHEN PLAN**  
SCALE: 1:50



PRELIMINARY

**SUBJECT TO NCC 2022**  
**(1 MAY 2023)**  
**WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER	
SIGNATURE: _____	DATE: _____
SIGNATURE: _____	DATE: _____
PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED	

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COPYRIGHT: © 2024	2 CT AMENDMENTS	JOL 29/11/2023	CLAIRE AUDREY LITTLE & ALEXANDRE LARGET	OLINDA 15	H-WDCOLN10SA	
	3 CT2 AMENDMENTS	JOL 18/12/2023	ADDRESS:	FACADE DESIGN:	FACADE CODE:	
	4 CT3 AMENDMENTS	JOL 22/01/2024	3976 MEANDER VALLEY, EXTON TAS 7303	CLASSIC	F-WDCOLN10CLASA	
	5 PRELIM PLANS - INITIAL ISSUES	HMI 18/04/2024	LOT / SECTION / CT:	SHEET TITLE:	SHEET No.:	
	6 PRELIM PLANS - VAR.REF.001 UPDATE	HMI 13/06/2024	2 / - / 182048	KITCHEN DETAILS	11 / 14	
			COUNCIL:		SCALES:	713913
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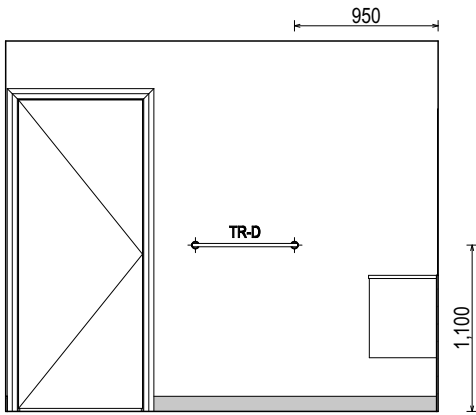
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**BAL-19 BUSHFIRE REQUIREMENTS**  
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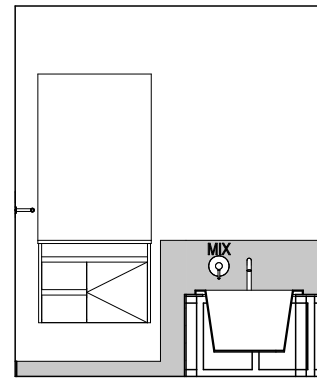
**REFER TO THE FOLLOWING DETAILS:**  
VANITY DETAILS G-VANI-001  
WINDOW OVER BATH HOB D-WIND-ALU001  
STANDARD BATH HOB D-WETA-BATH003  
WET AREA TILING LAYOUTS D-WETA-TILE002  
SQUARE SET WINDOWS G-WIND-SSET02  
FULL HEIGHT TILING D-LINI-WETA

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:  
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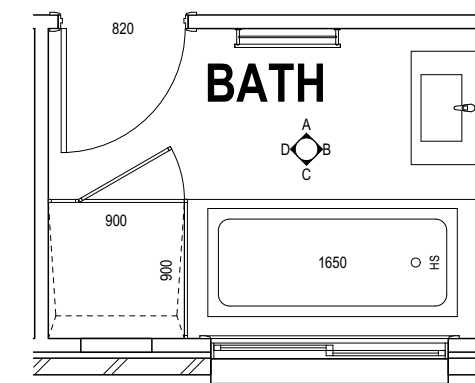
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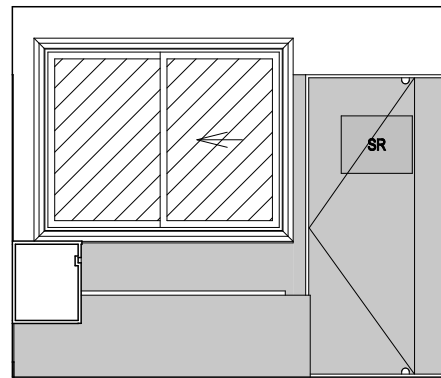
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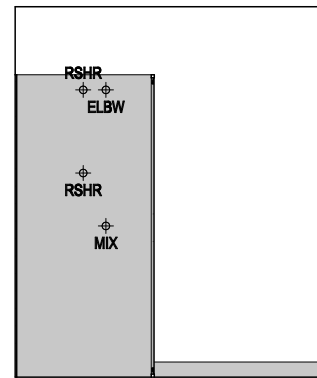
BATHROOM PLAN  
SCALE: 1:50

**LEGEND**

- RSHR RAIL SHOWER
- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
- WS WALL SPOUT
- SC STOP COCK
- TRH TOILET ROLL HOLDER
- TR-S TOWEL RAIL - SINGLE
- TR-D TOWEL RAIL - DOUBLE
- TL TOWEL LADDER
- TH TOWEL HOLDER
- TR TOWEL RACK
- TMB TUMBLER HOLDER
- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS
- SOAP SOAP HOLDER



ELEVATION C  
SCALE: 1:50



ELEVATION D  
SCALE: 1:50

SHAMPOO RECESS SIZE		STRUCTURAL DIMENSIONS	
		WIDTH	HEIGHT
"SMALL"	470 x 380mm	548mm	446mm
"MEDIUM"	800 x 380mm	878mm	446mm
"LARGE"	1500 x 380mm	1578mm	446mm

REFER WILSON HOMES' DETAIL G-WETA-TILE01 FOR FURTHER DETAIL PRIOR TO INSTALLATION.

**SUBJECT TO NCC 2022  
(1 MAY 2023)  
WATERPROOFING & PLUMBING**

**PLAN ACCEPTANCE BY OWNER**

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

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	SPECIFICATION: <b>DISCOVERY</b>	REVISION	DRAWN	CLIENT: <b>CLAIRE AUDREY LITTLE &amp; ALEXANDRE LARGET</b>	HOUSE DESIGN: <b>OLINDA 15</b>	HOUSE CODE: <b>H-WDCOLN10SA</b>	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.	
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		3 CT2 AMENDMENTS	JOL 18/12/2023	LOT / SECTION / CT: <b>2 / - / 182048</b>	COUNCIL: <b>MEANDER VALLEY COUNCIL</b>	SHEET TITLE: <b>BATHROOM DETAILS</b>		SHEET No.: <b>12 / 14</b>
		4 CT3 AMENDMENTS	JOL 22/01/2024					SCALES: <b>1:50</b>
		5 PRELIM PLANS - INITIAL ISSUES	HMI 18/04/2024					
		6 PRELIM PLANS - VAR.REF.001 UPDATE	HMI 13/06/2024					

713913

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**BAL-19 BUSHFIRE REQUIREMENTS**  
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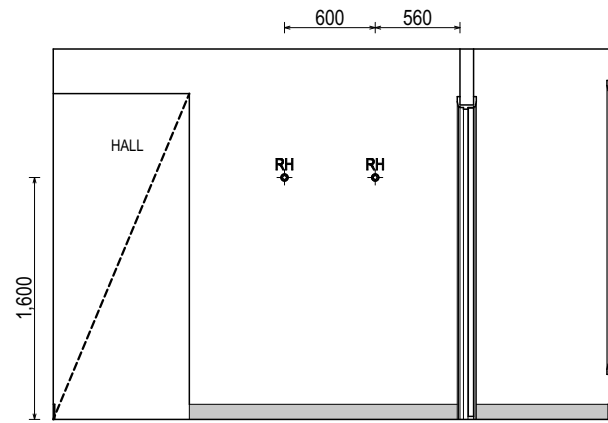
**REFER TO THE FOLLOWING DETAILS:**  
VANITY DETAILS G-VANI-001  
WINDOW OVER BATH HOB D-WIND-ALU001  
STANDARD BATH HOB D-WETA-BATH003  
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- SITE CLASSIFICATION  
- GENERAL BUILDING INFORMATION

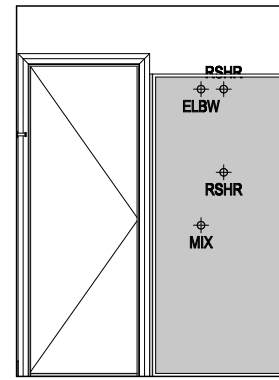
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**LEGEND**

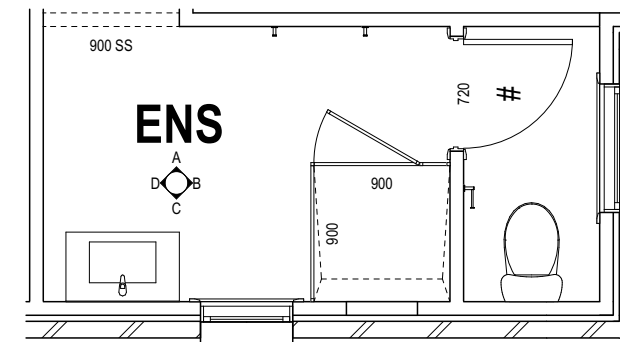
- RSHR RAIL SHOWER
- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
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- TMB TUMBLER HOLDER
- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS
- SOAP SOAP HOLDER



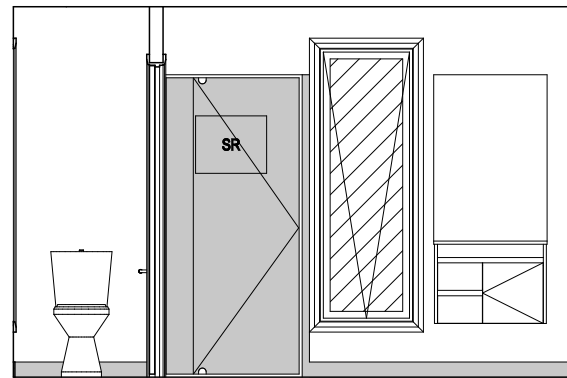
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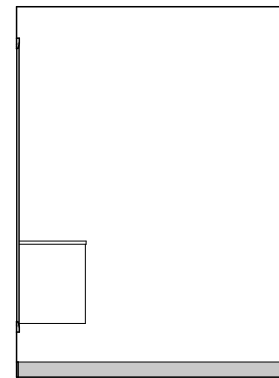
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**ENSUITE PLAN**  
SCALE: 1:50



**ELEVATION C**  
SCALE: 1:50



**ELEVATION D**  
SCALE: 1:50

SHAMPOO RECESS SIZE		STRUCTURAL DIMENSIONS	
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**(1 MAY 2023)**  
**WATERPROOFING & PLUMBING**

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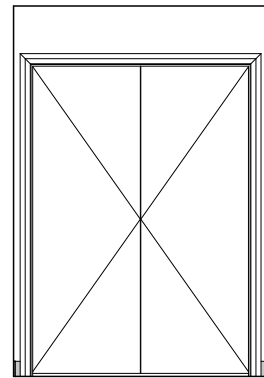
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	COPYRIGHT:	© 2024		2	CT AMENDMENTS	JOL	29/11/2023	ADDRESS: 3976 MEANDER VALLEY, EXTON TAS 7303		FACADE DESIGN:	CLASSIC		FACADE CODE:	F-WDCOLN10CLASA			
	3	CT2 AMENDMENTS	JOL	18/12/2023	LOT / SECTION / CT:	2 / - / 182048				COUNCIL:	MEANDER VALLEY COUNCIL		SHEET TITLE:	ENSUITE DETAILS		SHEET No.:	13 / 14
	4	CT3 AMENDMENTS	JOL	22/01/2024	5			PRELIM PLANS - INITIAL ISSUES	HMI	18/04/2024			SCALES:	1:50		713913	
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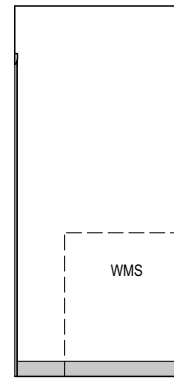
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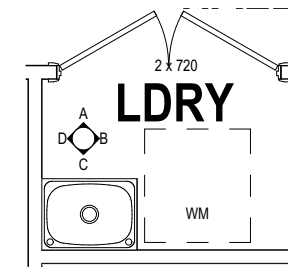
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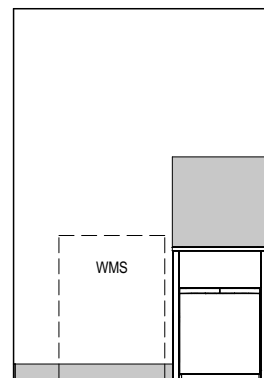
ELEVATION A  
SCALE: 1:50



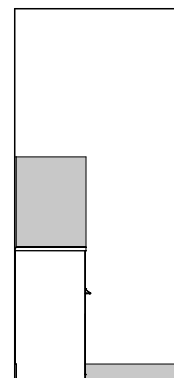
ELEVATION B  
SCALE: 1:50



LAUNDRY PLAN  
SCALE: 1:50



ELEVATION C  
SCALE: 1:50



ELEVATION D  
SCALE: 1:50

PRELIMINARY

**SUBJECT TO NCC 2022  
(1 MAY 2023)  
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER	
SIGNATURE: _____	DATE: _____
SIGNATURE: _____	DATE: _____
PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED	

**ALL DIMENSIONS ARE FRAME DIMENSIONS**

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	COPYRIGHT: © 2024	2 CT AMENDMENTS	JOL 29/11/2023	ADDRESS: <b>3976 MEANDER VALLEY, EXTON TAS 7303</b>	FACADE DESIGN: <b>CLASSIC</b>	FACADE CODE: <b>F-WDCOLN10CLASA</b>		
		3 CT2 AMENDMENTS	JOL 18/12/2023	LOT / SECTION / CT: <b>2 / - / 182048</b>	COUNCIL: <b>MEANDER VALLEY COUNCIL</b>	SHEET TITLE: <b>LAUNDRY DETAILS</b>		SHEET No.: <b>14 / 14</b>
		4 CT3 AMENDMENTS	JOL 22/01/2024					SCALES: <b>1:50</b>
		5 PRELIM PLANS - INITIAL ISSUES	HMI 18/04/2024					
		6 PRELIM PLANS - VAR.REF.001 UPDATE	HMI 13/06/2024					

713913

Last Published: Thursday, 13 June 2024 2:08 PM  
File Location: P:\8\_Drafting\Job Files\713900713913 - LittlePlans\713913 Little - AC24 - 2024.06.013.pptx  
Template Version: 24.033





Proposed Residential Development – 3976 Meander Valley Road, Exton

# Bushfire Hazard Report

Applicant: Wilson Homes

Job Number: 713913



November 2023 J9677v1

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## Disclaimer

The measures contained in Australian Standard 3959-2018 cannot guarantee that a building will survive a bushfire event on every occasion. This is substantially due to the unpredictable nature and behaviour of fire and extreme weather conditions.

Reasonable steps have been taken to ensure that the information contained within this report is accurate and reflects the conditions on and around the lot at the time of assessment. The assessment has been based on the information provided by you or your designer.

## Authorship

This report was prepared by Mark Van den Berg BSc. (Hons.) FPO (planning) of Geo Environmental Solutions. Base data for mapping: TasMap, Digital and aerial photography: Mark Van den Berg, GoogleEarth.

## 1.0 Purpose

This bushfire hazard report is intended to provide information in relation to residential development in a bushfire-prone area. It will demonstrate compliance with the *Building Regulations 2016*, and the *Directors Determination – Bushfire Hazard Areas, version 1.1, 12<sup>th</sup> April 2021*. Provide a certificate of others (form 55) as specified by the Director of Building Control for bushfire hazard and give guidance by way of a certified bushfire hazard management plan which shows a means of protection from bushfires in a form approved by the Chief Fire Officer of the Tasmania Fire Service.

## 2.0 Summary

### Site details & compliance

Title reference	182048/2
PID	9381550
Address	3976 Meander Valley Road, Exton
Applicant	Wilson Homes
Municipality	Meander
Planning Scheme	Tasmanian Planning Scheme - Meander
Zoning	Village
Land size	~0.72Ha
Bushfire Attack Level	BAL-19
Certificate of others (form 55)	Complete and attached
Bushfire Hazard Management Plan	Certified & Attached

Development of a new class 1a building at 3976 Meander Valley Road, Exton requires demonstrated compliance with *Building Regulations 2016*, and the *Directors Determination – Bushfire Hazard Areas, version 1.1, 12<sup>th</sup> April 2021*, the site is located in a bushfire prone area. The Bushfire attack level has been determined as BAL-12.5, provisions for construction standards, hazard management areas, property access and water supplies for firefighting will be required as detailed in this report and on the Bushfire Hazard Management Plan (BHMP).

## 3.0 Introduction

This bushfire hazard report has been completed to form part of supporting documentation for a building permit application for the proposed development. The proposed development site has been identified as being in a bushfire prone area. A site-specific bushfire hazard management plan has been provided for compliance purposes.

## 4.0 Proposal

It is proposed that a new class 1a building and associated property access is developed at 3976 Meander Valley Road, Exton (appendix B).

## 5.0 Bushfire Attack Level (BAL) Assessment

### 5.1 Methods

The Bushfire attack level has been determined through the application of section 2 of AS3959-2018 'Simplified Procedure'. Vegetation has been classified using a combination of onsite observations and remotely sensed data to be consistent with table 2.3 of AS359-2018. Slope and distances have been determined by infield measurement and/or the use of remotely sensed data (aerial/satellite photography, GIS layers from various sources) analysed with proprietary software systems. Where appropriate vegetation has been classified as low threat.

### 5.2 Site Description

The proposal is located at 3976 Meander Valley Road, Exton, in the municipality of Meander and is zoned Village under the Tasmanian Planning Scheme – Meander. Access to the lot will be by an existing crossover from Meander valley Road, a state-maintained road. The lot is ~0.72 Ha, is irregular in shape and is located approximately 2.2km north-west of Rollys Hill (Figure 1).

Adjacent lands are zoned Village, Agriculture and Infrastructure and carry bushfire-prone vegetation. At a landscape scale the lot occurs on the western extent of the Exton settled area, where residential development gives way to grasslands under agricultural production.. Vegetation cover in the surrounding area is dominated grasslands with hardwood plantations and native forest occurring some distance from the site. The lot is effectively flat with no definitive aspect.

Vegetation surrounding the lot was assessed (Table 1) and described as 'grassland' or excluded from the assessment as low threat vegetation (as per AS3959-2018). The classified vegetation potentially having the greatest impact on the site occurs to the west of the site (Figure 2). The vegetation classification system as defined in AS 3959-2018 Table 2.3 and Figure 2.4 (A to H) has been used to determine vegetation types within 100 metres of the site (Table 1).



**Figure 1.** The lot in a topographical context (lot outlined in pink).



**Figure 2.** Shows the approximate location of the lot (pink line) in the context of the adjacent lands and classified vegetation.

Table 1. Bushfire Attack Level (BAL) Assessment

Azimuth	Vegetation Classification	Effective Slope	Distance to Bushfire-prone vegetation	Hazard Management Area Width	Bushfire Attack Level
<b>North</b>	Grassland <sup>^</sup>	flat 0°	0 to 37metres	14 metres	<b>BAL-12.5</b>
	Exclusion 2.2.3.2 (e, f) <sup>^^</sup>	flat 0°	37 to 80 metres		
	Grassland <sup>^</sup>	flat 0°	80 to 100 metres		
	--	--	--		
<b>East</b>	Grassland <sup>^</sup>	flat 0°	0 to 100 metres	14 metres	<b>BAL-12.5</b>
	--	--	--		
	--	--	--		
	--	--	--		
<b>South</b>	Grassland <sup>^</sup>	flat 0°	0 to 100 metres	14 metres	<b>BAL-12.5</b>
	--	--	--		
	--	--	--		
	--	--	--		
<b>West</b>	Grassland <sup>^</sup>	upslope	0 to 30 metres	10 metres	<b>BAL-19</b>
	Exclusion 2.2.3.2 (e, f) <sup>^^</sup>	flat 0°	30 to 40 metres		
	Grassland <sup>^</sup>	flat 0°	40 to 100 metres		
	--	--	--		

<sup>^</sup> Vegetation classification as per AS3959-2018 and Figures 2.4(A) to 2.4 (H).

<sup>^^</sup> Exclusions as per AS3959-2018, section 2.2.3.2, (a) to (f).

<sup>\*\*</sup> 17 metres of HMA within lot, 10 metres of HMA external and secure through part 5 agreement.

## 6.0 Results

The bushfire attack level for the site has been determined as BAL-19. The risk is considered to be moderate, there is a risk of ember attack and burning debris ignited by wind borne embers and a likelihood of exposure to increasing levels of radiant heat at the site. The construction elements are expected to be exposed to a heat flux not greater than 19 kW/m<sup>2</sup>.

### 6.1 Property Access

Property access length is greater than 30 metres and access is required for a fire appliance to connect to a firefighting water point. The following design and construction requirements apply to property access:

- (a) All-weather construction;
- (b) Load capacity of at least 20 tonnes, including for bridges and culverts;
- (c) Minimum carriageway width of 4 metres;
- (d) Minimum vertical clearance of 4 metres;
- (e) Minimum horizontal clearance of 0.5 metres from the edge of the carriageway;
- (f) Cross falls of less than 3° (1:20 or 5%);
- (g) Dips less than 7° (1:8 or 12.5%) entry and exit angle;
- (h) Curves with a minimum inner radius of 10 metres;
- (i) Maximum gradient of 15° (1:3.5 or 28%) for sealed roads, and 10° (1:5.5 or 18%) for unsealed roads; and
- (j) Terminate with a turning area for fire appliances provided by one of the following:
  - (i) A turning circle with a minimum outer radius of 10 metres;
  - (ii) A property access encircling the building; or
  - (iii) A hammerhead “T” or “Y” turning head 4 metres wide and 8 metres long
- (k) Passing bays of 2 metres additional carriageway width and 20 metres length provided every 200 metres.

### 6.2 Water supplies for fire fighting

The site is serviced by a reticulated water supply, however due to the proximity of existing fire hydrants to the site, a dedicated, static firefighting water supply will be provided in accordance with table 2.

Table 2. Requirements for Static Water Supplies dedicated for Firefighting

Element		Requirement
A.	Distance between building area to be protected and water supply	The following requirements apply: (a) The building area to be protected must be located within 90 metres of the firefighting water point of a static water supply; and (b) The distance must be measured as a hose lay, between the firefighting water point and the furthest part of the building area
B.	Static Water Supplies	A static water supply: (a) May have a remotely located offtake connected to the static water supply; (b) May be a supply for combined use (firefighting and other uses) but the specified minimum quantity of firefighting water must be available at all times; (c) Must be a minimum of 10,000 litres per building area to be protected. This volume of water must not be used for any other purpose including firefighting sprinkler or spray systems;



		<p>(d) Must be metal, concrete or lagged by non-combustible materials if above ground; and</p> <p>(e) If a tank can be located so it is shielded in all directions in compliance with Section 3.5 of AS 3959:2018, the tank may be constructed of any material provided that the lowest 400 mm of the tank exterior is protected by:</p> <p>(i) metal;</p> <p>(ii) non-combustible material; or</p> <p>(iii) fibre-cement a minimum of 6 mm thickness.</p>
C.	Fittings, pipework and accessories (including stands and tank supports)	<p>Fittings and pipework associated with a firefighting water point for a static water supply must:</p> <p>(a) Have a minimum nominal internal diameter of 50mm;</p> <p>(b) Be fitted with a valve with a minimum nominal internal diameter of 50mm;</p> <p>(c) Be metal or lagged by non-combustible materials if above ground;</p> <p>(d) Where buried, have a minimum depth of 300mm;</p> <p>(e) Provide a DIN or NEN standard forged Storz 65 mm coupling fitted with a suction washer for connection to firefighting equipment;</p> <p>(f) Ensure the coupling is accessible and available for connection at all times;</p> <p>(g) Ensure the coupling is fitted with a blank cap and securing chain (minimum 220 mm length);</p> <p>(h) Ensure underground tanks have either an opening at the top of not less than 250 mm diameter or a coupling compliant with this Table; and</p> <p>(i) Where a remote offtake is installed, ensure the offtake is in a position that is:</p> <p>(i) Visible;</p> <p>(ii) Accessible to allow connection by firefighting equipment;</p> <p>(iii) At a working height of 450 – 600mm above ground level; and</p> <p>(iv) Protected from possible damage, including damage by vehicles.</p>
D.	Signage for static water connections	<p>The firefighting water point for a static water supply must be identified by a sign permanently fixed to the exterior of the assembly in a visible location. The sign must:</p> <p>(a) comply with water tank signage requirements within AS 2304:2019; or</p> <p>(b) comply with the Tasmania Fire Service Water Supply Signage Guideline published by the Tasmania Fire Service.</p>
E.	Hardstand A hardstand area for fire appliances must be provided:	<p>(a) No more than three metres from the firefighting water point, measured as a hose lay (including the minimum water level in dams, swimming pools and the like);</p> <p>(b) No closer than six metres from the building area to be protected;</p> <p>(c) With a minimum width of three metres constructed to the same standard as the carriageway; and</p> <p>(d) Connected to the property access by a carriageway equivalent to the standard of the property access.</p>

### 6.3 Hazard Management Area.

A hazard management area will need to be established and maintained for the life of the development and is shown on the BHMP. Guidance for the establishment and maintenance of the hazard management area is given below and on the BHMP.

A hazard management area is the area, between a habitable building or building area and the bushfire prone vegetation, which provides access to a fire front for firefighting, which is maintained in a minimal fuel condition and in which there are no other hazards present which will significantly contribute to the spread of a bushfire. This can be achieved through, but is not limited to the following strategies;

- Remove fallen limbs, sticks, leaf and bark litter;
- Maintaining grass at less than a 100mm height;
- Avoid or minimise the use of flammable mulches (especially against buildings);
- Thin out under-story vegetation to provide horizontal separation between fuels;
- Prune low-hanging tree branches (<2m from the ground) to provide vertical separation between fuel layers;
- Remove and or prune larger trees to maintain horizontal separation between canopies;
- Minimise the storage of flammable materials such as firewood;

- Maintaining vegetation clearance around vehicular access;
- Use low-flammability plant species for landscaping purposes where possible;
- Clear out any accumulated leaf and other debris from roof gutters and other debris accumulation points.

## 7.0 Compliance

Table 2. Compliance with the Directors Determination - Bushfire Hazard Areas, version 1.1, 8<sup>th</sup> April 2021.

Requirements	Compliance
2.3.1 Construction Requirements	<p>Clause 2.3.1 requires buildings to be constructed in accordance with AS3959-2018 or NASH standard – Steel Framed Construction in Bushfire Areas consistent with the BAL determined for the site.</p> <p>The BHMP specifies construction to BAL-19 standards of AS3959-2018.</p> <p>If the proposed building is designed and constructed in accordance with BAL-19 construction standards the development will comply with clause 2.3.1</p>
2.3.2 Property Access	<p>Clause 2.3.2 requires property access to be designed and constructed to comply with table 2 of the determination and is applicable from the public roadway to within (at minimum) 90 metres of the furthest part of the building/s and includes access to a hardstand for the firefighting water point.</p> <p>In this circumstance there is no requirement for minimum design and construction standards for property access as property access is not required to access a firefighting water connection point.</p> <p>If the property access is designed and constructed in accordance with the requirements of section 6.1 of this report, the proposal will comply with clause 2.3.2.</p>
2.3.3 Water Supply for Firefighting	<p>Clause 2.3.3 requires that a new building constructed in a bushfire-prone area is provided with a dedicated firefighting water supply in accordance with tables 3A or 3B.</p> <p>There are existing reticulated water supplies for firefighting available which are consistent with the requirements of Table 3A.</p> <p>If the requirements of section 6.2 of this report are implemented the proposal will comply with clause 2.3.3.</p>
2.3.4 Hazard Management Areas	<p>Clause 2.3.4 requires that new buildings in bushfire-prone areas are provided with an HMA which is compliant with table 4. The HMA must have the minimum separation distances required for the BAL determined for the site and, have an HMA established which reduces fuels and other hazards so that fuels and other hazards do not significantly contribute to the bushfire attack.</p> <p>HMA's are shown on the BHMP and are specified to the minimum widths required to achieve BAL-19 for the site. This report and the BHMP specify requirements for hazard management areas.</p> <p>If the HMA's are established in accordance with the BHMP the proposal will comply with clause 2.3.4</p>
2.3.5 Emergency Plan	<p>The proposal is for a class 1a building, in this circumstance there is no requirement for Emergency Plans to achieve compliance with the Determination.</p>

## 8.0 Guidance

The defensible space (hazard management area) around a building is critical for providing occupants and/or fire fighters with safe access to the building in order that fire fighting activities may be undertaken. The larger the defensible space, the safer it will be for those defending the structure. Some desirable characteristics of a hazard management area are:

- The area directly adjacent to the building has a significant amount of flammable material removed such that there is little to no material available to burn around the building;
- Includes non flammable areas such as paths, driveways, short cropped lawns;
- Establishment of orchards, vegetable gardens, dams or waste water effluent disposal areas on the fire prone side of the building;
- Creating wind breaks and radiation shields such as non combustible fences and low flammability hedges;
- It is not necessary to remove all vegetation from the defensible space, trees can provide protection from wind borne embers and radiant heat in some circumstances.

## 9.0 Further Information

For further information on preparing yourself and your property for bushfires visit the Tasmania Fire Service website at [www.fire.tas.gov.au](http://www.fire.tas.gov.au) or phone 1800 000 699 for information on:

- Preparing a bushfire survival plan
- Preparing yourself and your home for a bushfire
- Guidelines for development in bushfire prone areas in Tasmania
- Fire resisting plants for the urban fringe and rural areas
- Using fire outdoors
- Fire permits
- Total fire bans
- Bushfires burning in Tasmania

## 10.0 References

Australian Building Codes Board, *National Construction Code, Building Code of Australia*, Australian Building Codes Board, Canberra.

*Building Amendment (Bushfire-Prone Areas) Regulations 2016*

*Directors Determination – Bushfire Hazard Areas, version 1.1, 12<sup>th</sup> April 2021*

The Bushfire Planning Group 2005, *Guidelines for development in bushfire prone areas of Tasmania – Living with fire in Tasmania*, Tasmania Fire Service, Hobart.

Tasmania Fire Service 2013, *Building for Bushfire – Planning and Building in Bushfire-Prone Areas for Owners and Builders*.

*Meander*, Tasmanian Planning Commission.

Standards Australia, AS3959-2018 Construction of buildings in bushfire-prone areas. Sydney, NSW., Australia.

## 11.0 Limitations Statement

This Bushfire Hazard Report has been prepared in accordance with the scope of services between Geo-Environmental Solutions Pty. Ltd. (GES) and the applicant named in section 2. To the best of GES's knowledge, the information presented herein represents the Client's requirements at the time of printing of the Report. However, the passage of time, manifestation of latent conditions or impacts of future events may result in findings differing from that described in this Report. In preparing this Report, GES has relied upon data, surveys, analyses, designs, plans and other information provided by the Client and other individuals and organisations referenced herein. Except as otherwise stated in this Report, GES has not verified the accuracy or completeness of such data, surveys, analyses, designs, plans and other information.

The scope of this study does not allow for the review of every possible bushfire hazard condition and does not provide a guarantee that no loss of property or life will occur as a result of bushfire. As stated in AS3959-2018 "It should be borne in mind that the measures contained in this Standard cannot guarantee that a building will survive a bushfire event on every occasion. This is substantially due to the degree of vegetation management, the unpredictable nature and behaviour of fire, and extreme weather conditions". In addition, no responsibility is taken for any loss which is a result of actions contrary to AS3959-2018 or the Tasmanian Planning Commission Bushfire code.

This report does not purport to provide legal advice. Readers of the report should engage professional legal practitioners for this purpose as required. No responsibility is accepted for use of any part of this report in any other context or for any other purpose by third party.

## Appendix A – Site Photos



Figure 3. Northern azimuth from the site.



Figure 4. South-eastern azimuth from the site.





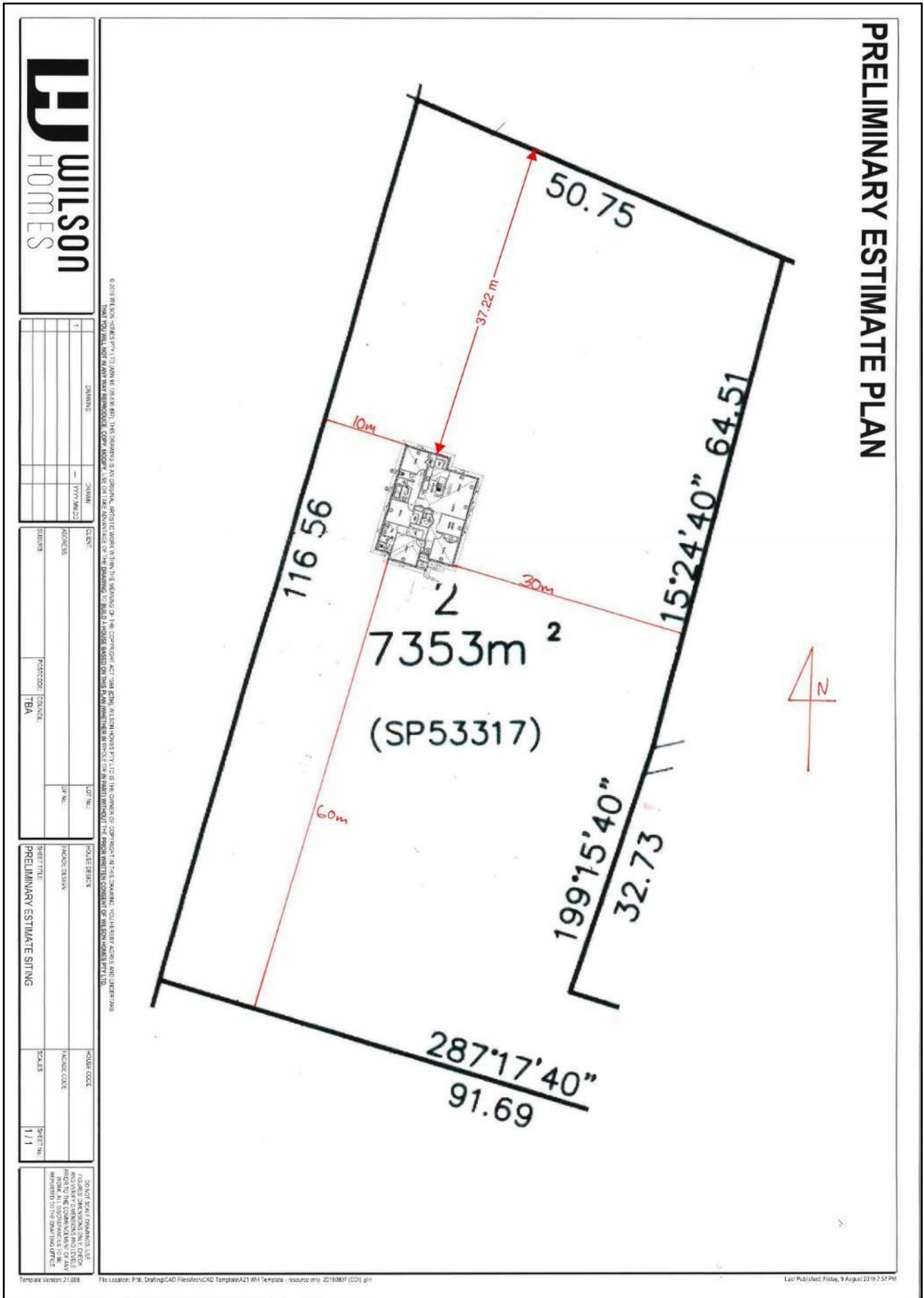
Figure 5. Southern azimuth from the site.



Figure 5. Western azimuth from the site.



# Appendix B - Site Plan



NO.	DESCRIPTION	DATE
1		

CLIENT	ADDRESS	POSTCODE	LOT NO.
		TBA	

HOUSE DESIGN	HOUSE CODE
PRELIMINARY ESTIMATE SITING	SCALE
	1/1

ONCE SITE DRAWINGS USE FOR CONSTRUCTION AND LEVELS ARE DETERMINED, ALL DIMENSIONS AND LEVELS SHOWN ON THIS DRAWING SHALL BE REVISITED TO REFLECT THE ACTUAL SITUATION.



# BUSHFIRE HAZARD MANAGEMENT PLAN

Bushfire Hazard Management Plan, 3976 Meander Valley Road, Exton. November 2023. J9677v1.  
Tasmanian Planning Scheme - Meander Valley



GEO-ENVIRONMENTAL

SOLUTIONS

29 Kirksway Place, Battery Point.  
T| 62231839 E| office@geosolutions.net.au

## Compliance Requirements

### Property Access

Property access length is 30 metres or greater; and access is required for a fire appliance to connect to a firefighting water point.

The following design and construction requirements apply to property access:

- (a) All-weather construction;
- (b) Load capacity of at least 20 tonnes, including for bridges and culverts;
- (c) Minimum carriageway width of 4 metres;
- (d) Minimum vertical clearance of 4 metres;
- (e) Minimum horizontal clearance of 0.5 metres from the edge of the carriageway;
- (f) Cross falls of less than 3° (1:20 or 5%);
- (g) Dips less than 7° (1:8 or 12.5%) entry and exit angle;
- (h) Curves with a minimum inner radius of 10 metres;
- (i) Maximum gradient of 15° (1:3.5 or 28%) for sealed roads, and 10° (1:5.5 or 18%) for unsealed roads; and
- (j) Terminate with a turning area for fire appliances provided by one of the following:
  - (i) A turning circle with a minimum outer radius of 10 metres;
  - (ii) A property access encircling the building; or
  - (iii) A hammerhead "T" or "Y" turning head 4 metres wide and 8 metres long
- (k) Passing bays of 2 metres additional carriageway width and 20 metres length provided every 200 metres.

### Water Supplies for Firefighting

The site is not serviced by a reticulated water supply, therefore a dedicated, static firefighting water supply will be provided in accordance with the following:

- A) Distance between building area to be protected and water supply  
The following requirements apply:
- (a) The building area to be protected must be located within 90 metres of the fire fighting water point of a static water supply; and
  - (b) The distance must be measured as a hose lay, between the fire fighting water point and the furthest part of the building area.

### B) Static Water Supplies

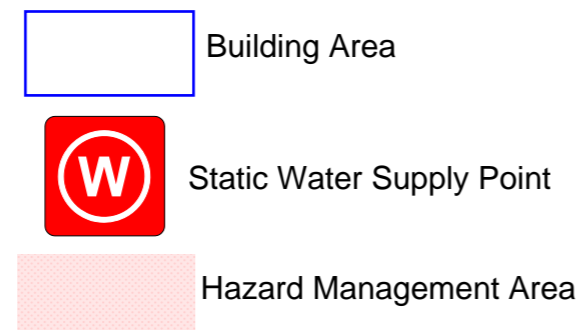
- A static water supply:
- (a) May have a remotely located offtake connected to the static water supply;
  - (b) May be a supply for combined use (fire fighting and other uses) but the specified minimum quantity of fire fighting water must be available at all times;
  - (c) Must be a minimum of 10,000 litres per building area to be protected. This volume of water must not be used for any other purpose including fire fighting sprinkler or spray systems;
  - (d) Must be metal, concrete or lagged by non-combustible materials if above ground; and
  - (e) If a tank can be located so it is shielded in all directions in compliance with Section 3.5 of AS 3959-2009, the tank may be constructed of any material provided that the lowest 400 mm of the tank exterior is protected by:
    - (i) metal;
    - (ii) non-combustible material; or
    - (iii) fibre-cement a minimum of 6 mm thickness.

### C) Fittings and pipework associated with a fire fighting water point for a static water supply must:

- (a) Have a minimum nominal internal diameter of 50mm; (2) Be fitted with a valve with a minimum nominal internal diameter of 50mm;
- (b) Be fitted with a valve with a minimum nominal internal diameter of 50mm;
- (c) Be metal or lagged by non-combustible materials if above ground;
- (d) Where buried, have a minimum depth of 300mm (compliant with AS/NZS 3500.1-2003 Clause 5.23);
- (e) Provide a DIN or NEN standard forged Storz 65 mm coupling fitted with a suction washer for connection to fire fighting equipment;
- (f) Ensure the coupling is accessible and available for connection at all times;
- (g) Ensure the coupling is fitted with a blank cap and securing chain (minimum 220 mm length);
- (h) Ensure underground tanks have either an opening at the top of not less than 250 mm diameter or a coupling compliant with this Table; and
- (i) Where a remote offtake is installed, ensure the offtake is in a position that is:
  - (i) Visible;
  - (ii) Accessible to allow connection by fire fighting equipment;
  - (iii) At a working height of 450 – 600mm above ground level; and
  - (iv) Protected from possible damage, including damage by vehicles.

### D) Signage for static water connections

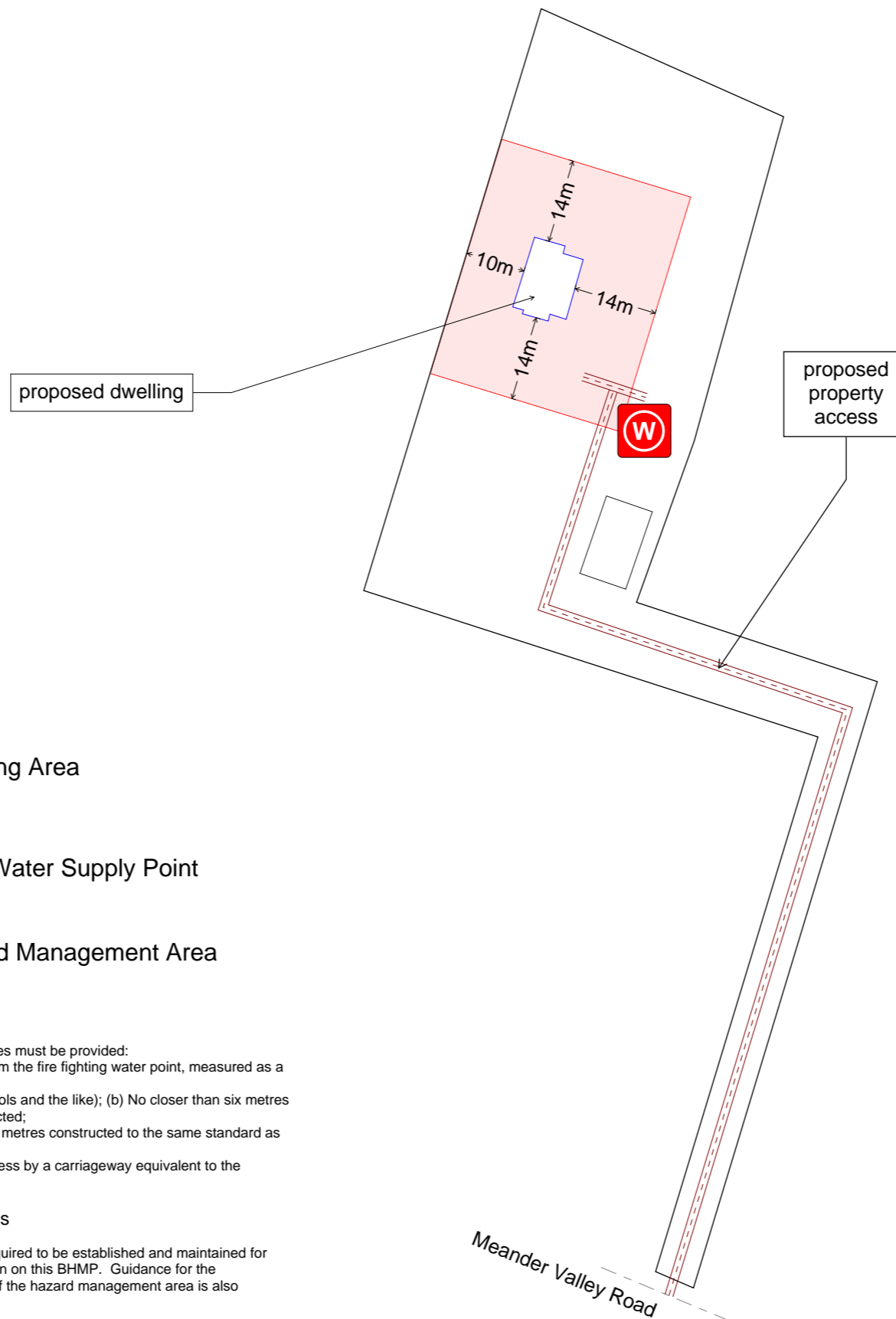
The fire fighting water point for a static water supply must be identified by a sign permanently fixed to the exterior of the assembly in a visible location. The sign must comply with the Tasmania Fire Service Water Supply Signage Guideline published by the Tasmania Fire Service



- E) Hardstand  
A hardstand area for fire appliances must be provided:
- (a) No more than three metres from the fire fighting water point, measured as a hose lay (including the minimum water level in dams, swimming pools and the like);
  - (b) No closer than six metres from the building area to be protected;
  - (c) With a minimum width of three metres constructed to the same standard as the carriageway; and
  - (d) Connected to the property access by a carriageway equivalent to the standard of the property access.

### Hazard Management Areas

A hazard management area is required to be established and maintained for the life of the building and is shown on this BHMP. Guidance for the establishment and maintenance of the hazard management area is also provided.



## Building Specifications to BAL-19 of AS3959-2018

### Hazard Management Area

A hazard management area is the area, between a habitable building or building area and the bushfire prone vegetation, which provides access to a fire front for firefighting, which is maintained in a minimal fuel condition and in which there are no other hazards present which will significantly contribute to the spread of a bushfire. This can be achieved through, but is not limited to the following actions;

- Remove fallen limbs, sticks, leaf and bark litter;
- Maintain grass at less than a 100mm height;
- Remove pine bark and other flammable mulch (especially from against buildings);
- Thin out under-story vegetation to provide horizontal separation between fuels;
- Prune low-hanging tree branches (<2m from the ground) to provide (vertical separation between fuel layers);
- Prune larger trees to maintain horizontal separation between canopies;
- Minimise the storage of flammable materials such as firewood;
- Maintain vegetation clearance around vehicular access and water supply points;
- Use low-flammability species for landscaping purposes where appropriate;
- Clear out any accumulated leaf and other debris from roof gutters and other accumulation points.

It is not necessary to remove all vegetation from the hazard management area, trees may provide protection from wind borne embers and radiant heat under some circumstances.

### Certification No. J9677

Mark Van den Berg  
Acc. No. BFP-108  
Scope 1, 2, 3A, 3B, 3C.

Do not scale from these drawings. Dimensions to take precedence over scale. Written specifications to take precedence over diagrammatic representations.

Wilson Homes  
250 Murray Street  
Hobart, Tasmania 7000

C.T.: 182048/2  
PID: 9381550

Date: 13/11/2023

Bushfire Hazard Management Plan 3976 Meander Valley Road, Exton. November 2023. J9677v1.  
Bushfire Management Report 3976 Meander Valley Road, Exton. November 2023. J9677v1.

Drawing Number: A01

Sheet 1 of 1  
Prepared by: MvdB

# CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

Form **55**

To:  Owner /Agent  
 Address  
  Suburb/postcode

## Qualified person details:

Qualified person:   
Address:  Phone No:   
  Fax No:   
Licence No:  Email address:

Qualifications and Insurance details:  (description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Speciality area of expertise:  (description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

## Details of work:

Address:  Lot No:   
  Certificate of title No:

The assessable item related to this certificate:  (description of the assessable item being certified)  
Assessable item includes –  
- a material;  
- a design  
- a form of construction  
- a document  
- testing of a component, building system or plumbing system  
- an inspection, or assessment, performed

## Certificate details:

Certificate type:  (description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)

building work, plumbing work or plumbing installation or demolition work:

or

a building, temporary structure or plumbing installation:

In issuing this certificate the following matters are relevant –

Documents:

The attached Bushfire Hazard Report and Bushfire Hazard Management Plan for the address detailed above in 'details of work'

Relevant

calculations:

Reference the above report.

References:

AS3959-2018 Construction of Buildings in Bushfire-prone Areas.  
Directors Determination for: Bushfire Hazard Areas v1.1 or  
Requirements for Building in Bushfire-prone Areas (transitional) v2.2

*Substance of Certificate: (what it is that is being certified)*

Bushfire Attack Level Assessment in accordance with AS3959-2018 and determination of other mitigation measures as required by the relevant Directors Determination as cited in the Bushfire Hazard Report.

*Scope and/or Limitations*

Scope: This report was commissioned to identify the Bushfire Attack Level for the existing property. Limitations: The inspection has been undertaken and report provided on the understanding that;-1. The report only deals with the potential bushfire risk all other statutory assessments are outside the scope of this report. 2. The report only identifies the size, volume and status of vegetation at the time the site inspection was undertaken. 3. Impacts of future development and vegetation growth have not been considered.

**I certify the matters described in this certificate.**

Qualified person:

Signed:



Certificate No:

J9677

Date:

13/11/2023