



Meander Valley Council  
Working Together

## PLANNING NOTICE

An application has been received for a Permit under s.57 of the Land Use Planning Approvals Act 1993:

APPLICANT:	<b>G &amp; J O'Keefe - PA\25\0003</b>
PROPERTY ADDRESS:	<b>9 Bimbimbi Avenue PROSPECT VALE (CT: 176106/12)</b>
DEVELOPMENT:	<b>Extension to Single dwelling - building envelope.</b>

The application can be inspected until **Monday, 29 July 2024**, at [www.meander.tas.gov.au](http://www.meander.tas.gov.au) or at the Council Office, 26 Lyall Street, Westbury (during normal office hours).

Written representations may be made during this time addressed to the General Manager, PO Box 102, Westbury 7303, or by email to [planning@mvc.tas.gov.au](mailto:planning@mvc.tas.gov.au). Please include a contact phone number. Please note any representations lodged will be available for public viewing.

If you have any questions about this application please do not hesitate to contact Council's Planning Department on 6393 5320.

Dated at Westbury on 13 July 2024.

Jonathan Harmey  
**GENERAL MANAGER**

# APPLICATION FORM



Meander Valley Council  
Working Together

## PLANNING PERMIT

### Land Use Planning and Approvals Act 1993

- Application form & details **MUST** be completed **IN FULL**.
- Incomplete forms will not be accepted and may delay processing and issue of any Permits.

#### OFFICE USE ONLY

Property No:	<input type="text"/>	Assessment No:	<input type="text"/>	-	<input type="text"/>	-	<input type="text"/>
DA\	<input type="text"/>	PA\	<input type="text"/>	PC\	<input type="text"/>		

- Is your application the result of an illegal building work?  Yes  No
- Have you already received a Planning Review for this proposal?  Yes  No
- Is a new vehicle access or crossover required?  Yes  No

#### PROPERTY DETAILS:

Address:	<input type="text" value="9 BIMBIMBI AVENUE"/>	Certificate of Title:	<input type="text" value="3610 Fol 7"/>
Suburb:	<input type="text" value="PROSPECT VALE"/> <input type="text" value="7250"/>	Lot No:	<input type="text" value="12 (No 9)"/>
Land area:	<input type="text" value="723"/> m <sup>2</sup> / ha		
Present use of land/building:	<input type="text" value="RESIDENTIAL"/>	(vacant, residential, rural, industrial, commercial or forestry)	

- Does the application involve Crown Land or Private access via a Crown Access Licence:  Yes  No
- Heritage Listed Property:  Yes  No

#### DETAILS OF USE OR DEVELOPMENT:

Indicate by ✓ box	<input checked="" type="checkbox"/> Building work	<input type="checkbox"/> Change of use	<input type="checkbox"/> Subdivision	<input type="checkbox"/> Demolition
	<input type="checkbox"/> Forestry	<input type="checkbox"/> Other		
Total cost of development (inclusive of GST):	<input type="text" value="\$33,000"/>	Includes total cost of building work, landscaping, road works and infrastructure		
Description of work:	<input type="text" value="REPLACING EXISTING PEREOLA. CURRENT TIMBER STRUCTURE TO METAL"/>			
Use of building:	<input type="text" value="UNDER COVER OUTDOOR AREA"/>	(main use of proposed building – dwelling, garage, farm building, factory, office, shop)		
New floor area:	<input type="text" value="* see below m&lt;sup&gt;2&lt;/sup&gt;"/>	New building height:	<input type="text" value="3.2m (BOUNDARY)"/>	
Materials:	External walls:	<input type="text" value="METAL"/>	Colour:	<input type="text" value="PAPER BARK (DULUX)"/>
	Roof cladding:	<input type="text" value="POLYCARBONATE"/>	Colour:	<input type="text" value="CLEAR"/>

.. \* REPLACEMENT OF EXISTING ROOF AREA

SEARCH OF TORRENS TITLE

VOLUME 176106	FOLIO 12
EDITION 1	DATE OF ISSUE 22-Nov-2018

SEARCH DATE : 04-Jul-2024

SEARCH TIME : 01.47 PM

DESCRIPTION OF LAND

Town of PROSPECT VALE  
 Lot 12 on Sealed Plan 176106  
 Derivation : Part of Lot 971, 321A-3R-25P Gtd. to H Burrows  
 Prior CTs 9391/11 and 9391/12

SCHEDULE 1

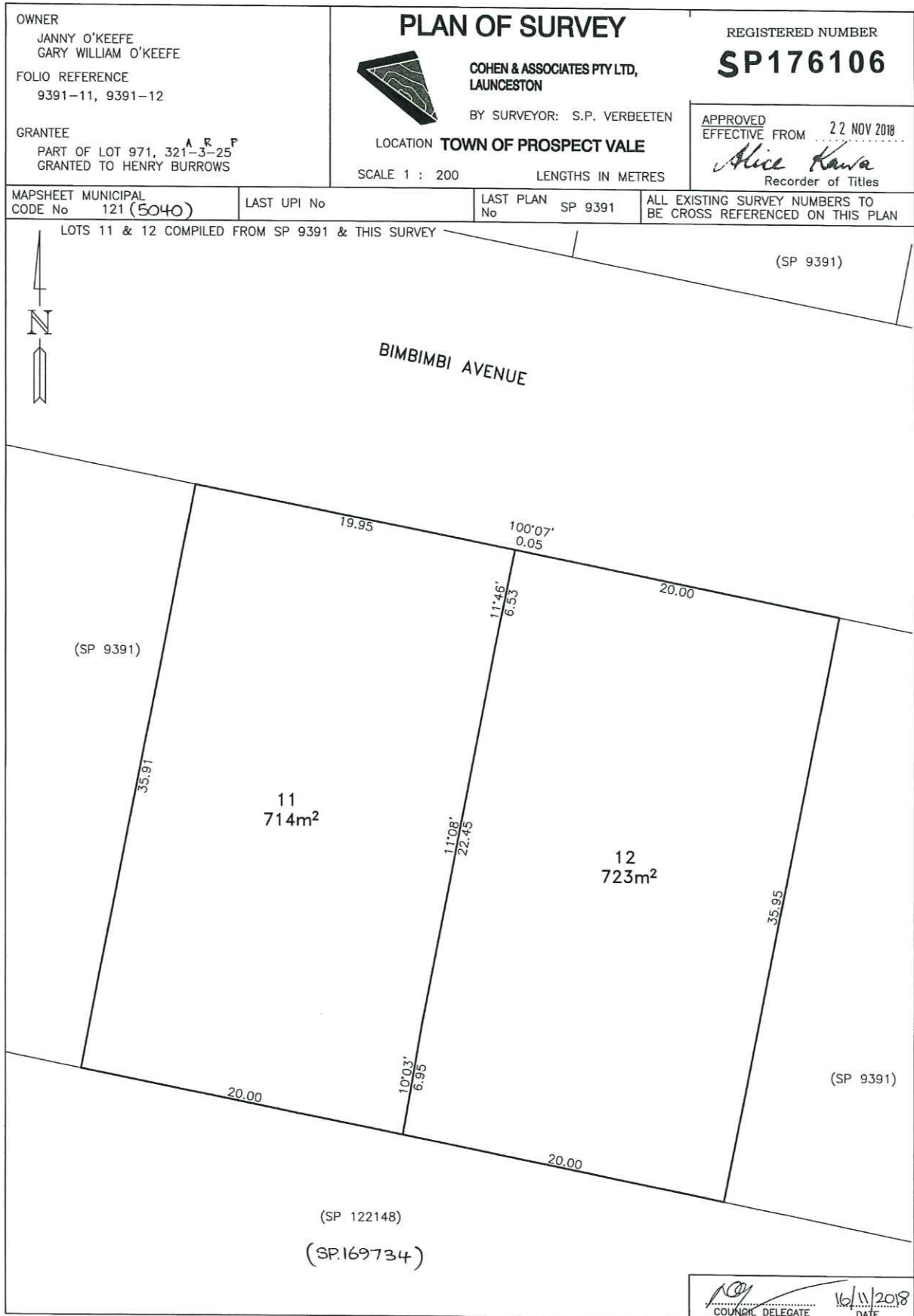
A570740 & M411286 TRANSFER to GARY WILLIAM O'KEEFE and JANNY O'KEEFE Registered 09-Apr-2013 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
 SP176106 COVENANTS in Schedule of Easements  
 SP176106 FENCING COVENANT in Schedule of Easements  
 SP 9391 COVENANTS in Schedule of Easements  
 SP 9391 FENCING COVENANT in Schedule of Easements

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



*[Signature]* 16/11/2018  
COUNCIL DELEGATE DATE

155-46 (7320) 18/10/2018 14:00

<b>SCHEDULE OF EASEMENTS</b>	Registered Number <b>SP 176106</b>
<b>NOTE:</b> THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	

PAGE 1 OF 1 PAGE/S

**EASEMENTS AND PROFITS**

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.


**COVENANTS**

Lots 11 and Lot 12 on the Plan are SUBJECT TO the Restrictive Covenants created and more fully set forth in the Schedule of Easements in SP9391.


**FENCING COVENANT**

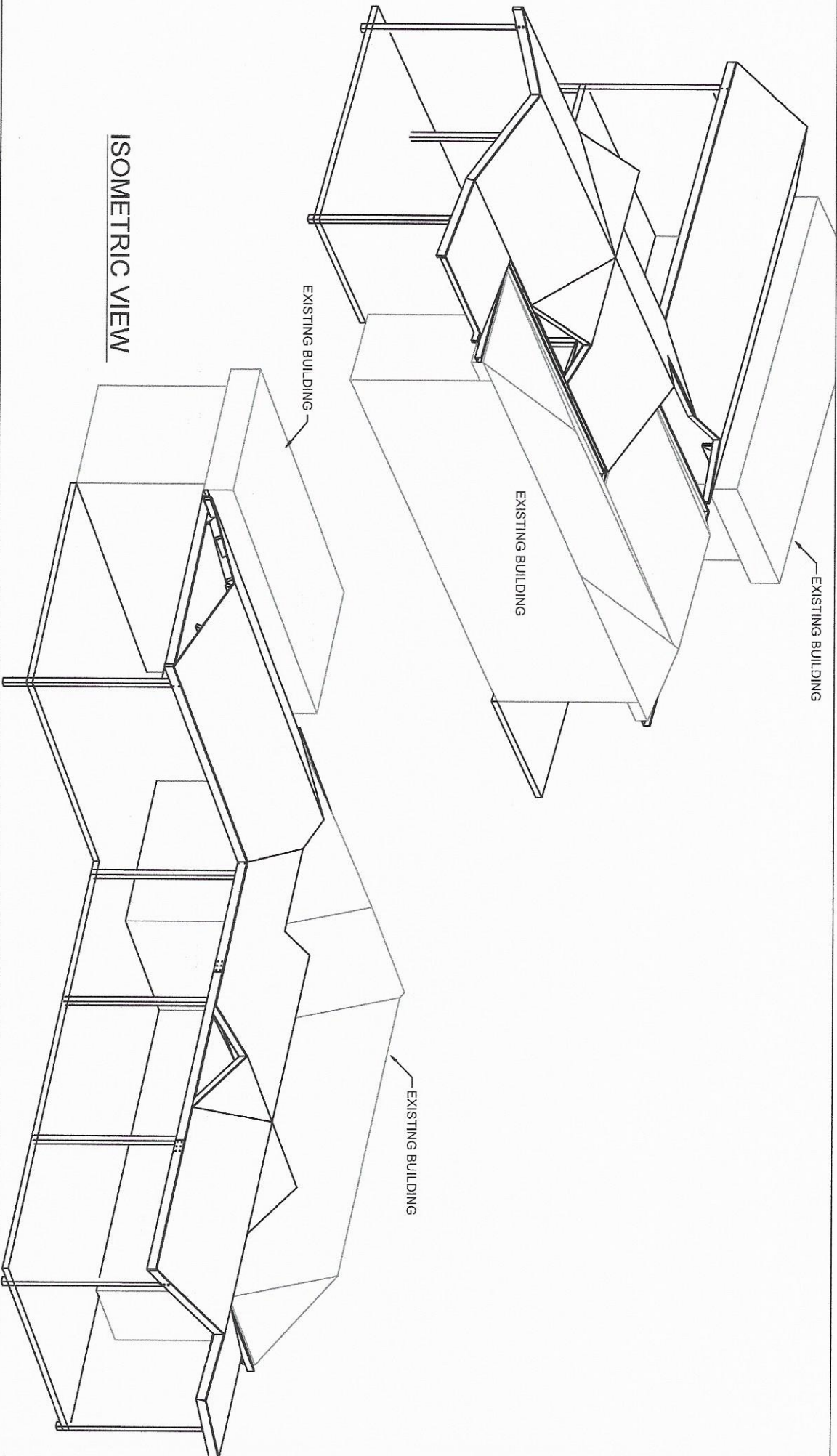
The Owner of each Lot covenants with the Vendor (Gary William O'Keefe and Janny O'Keefe) that the Vendor shall not be required to fence.

SIGNED by GARY WILLIAM O'KEEFE and JANNY O'KEEFE as Registered Proprietors of the land comprised in Certificate of Title Volume 9391 Folio 12 and Volume 9391 Folio 11 in the presence of:

<p>WITNESS SIGNATURE </p> <p>FULL NAME <u>Isaac Anderson</u></p> <p>OCCUPATION <u>Solicitor</u></p> <p>FULL ADDRESS <u>109 Cameron Street, Launceston, Tas, 7250</u></p>	<p>x </p> <p>+ </p>
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(USE ANNEXURE PAGES FOR CONTINUATION)

<p>SUBDIVIDER: Gary William O'Keefe and Janny O'Keefe</p> <p>FOLIO REF: Certificate of Title Volume 9391 Folio 12 and Volume 9391 Folio 11</p> <p>SOLICITOR &amp; REFERENCE: Clarke &amp; Gee (R.Reid)</p>	<p>PLAN SEALED BY: Meander Valley Council</p> <p>DATE: <u>16/11/2018</u></p> <p><u>PA1710059</u></p> <p>REF NO. <span style="float: right;"> Council Delegate</span></p>
<p><b>NOTE:</b> The Council Delegate must sign the Certificate for the purposes of identification.</p>	

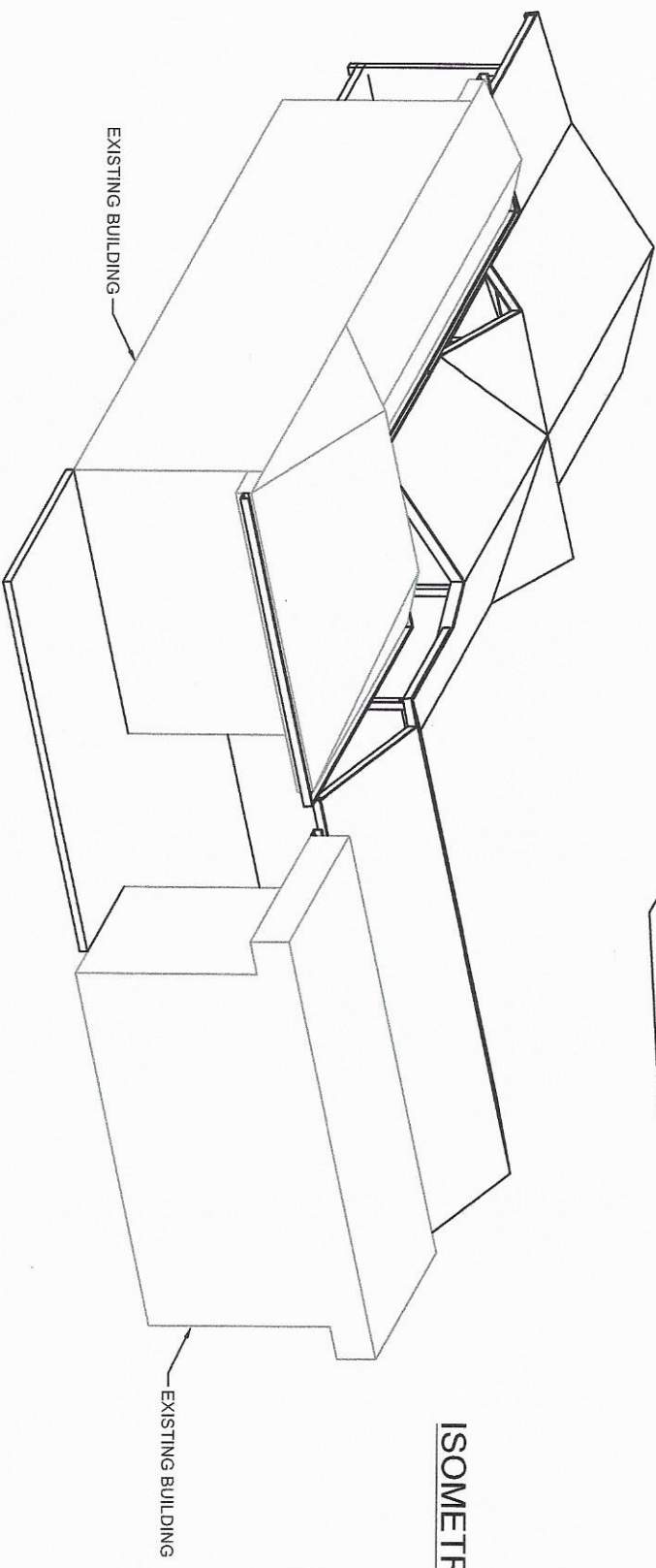
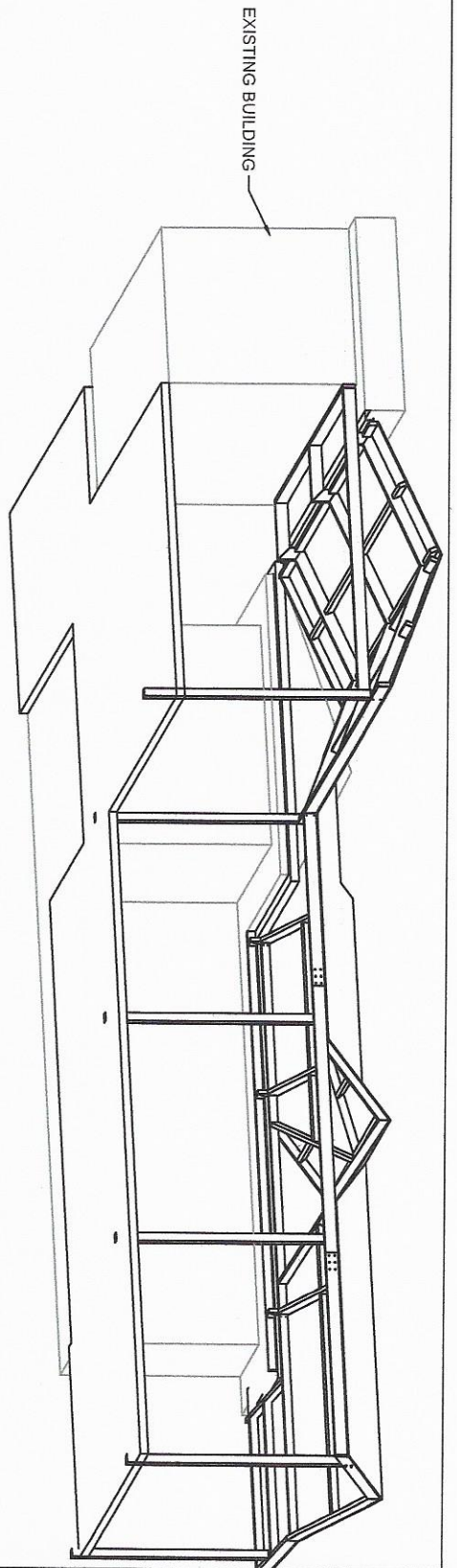


ISOMETRIC VIEW

DRAWING REVISIONS		QUALITY ASSURANCE CHECK LIST		GENERAL NOTES	
		FABRICATED BY:	CHECKED BY:	1. ALL FABRICATION OF STRUCTURAL/METALWORK STEELWORK TO CONFORM WITH PROJECT SPECIFICATIONS	<p><b>PROJECT: 9 BIMBIMI AVE. PROSPECT PROPOSED AWNING DETAILS</b></p> <p>CLIENT: GARY OKEEFE</p> <p>DETAILER: C. JONES</p> <p>DRAWING No: 23018 - MP1</p> <p>SCALE AT A3: 1:60</p> <p>DATE: 12/04/2023</p> <p>STATUS: Not Set</p>
		WELDED BY:	CHECKED BY:	2. ALL SURFACE PREPARATION, PAINTING AND GALVANIZING TO CONFORM WITH PROJECT SPECIFICATIONS	
C	8/03/2024			3. FOR GENERAL STRUCTURAL/MECHANICAL WORKS ALL WELDS PER PROJECT SPECIFICATIONS	
B	6/12/2023	MEMBER SIZE:	PRE & POST WELD/DRILL CHECK	4. ALL BUTT WELDS TO BE FULL STRENGTH COMPLETE PENETRATION	
A	12/04/2023	WELD LENGTH:	STRAGHTENING	5. ALL NOTICES TO HAVE TIME RAISED TO INTERNAL COMMENTS AND	
Index	Date	DESCRIPTION	WELD SIZES/REP:	6. ALL HOLES TO BE 20% FOR 180 DEGS UNLESS	



A.B.N. 71 698 121 767 M3446 693 341 Estimation@draftingomni.com.au

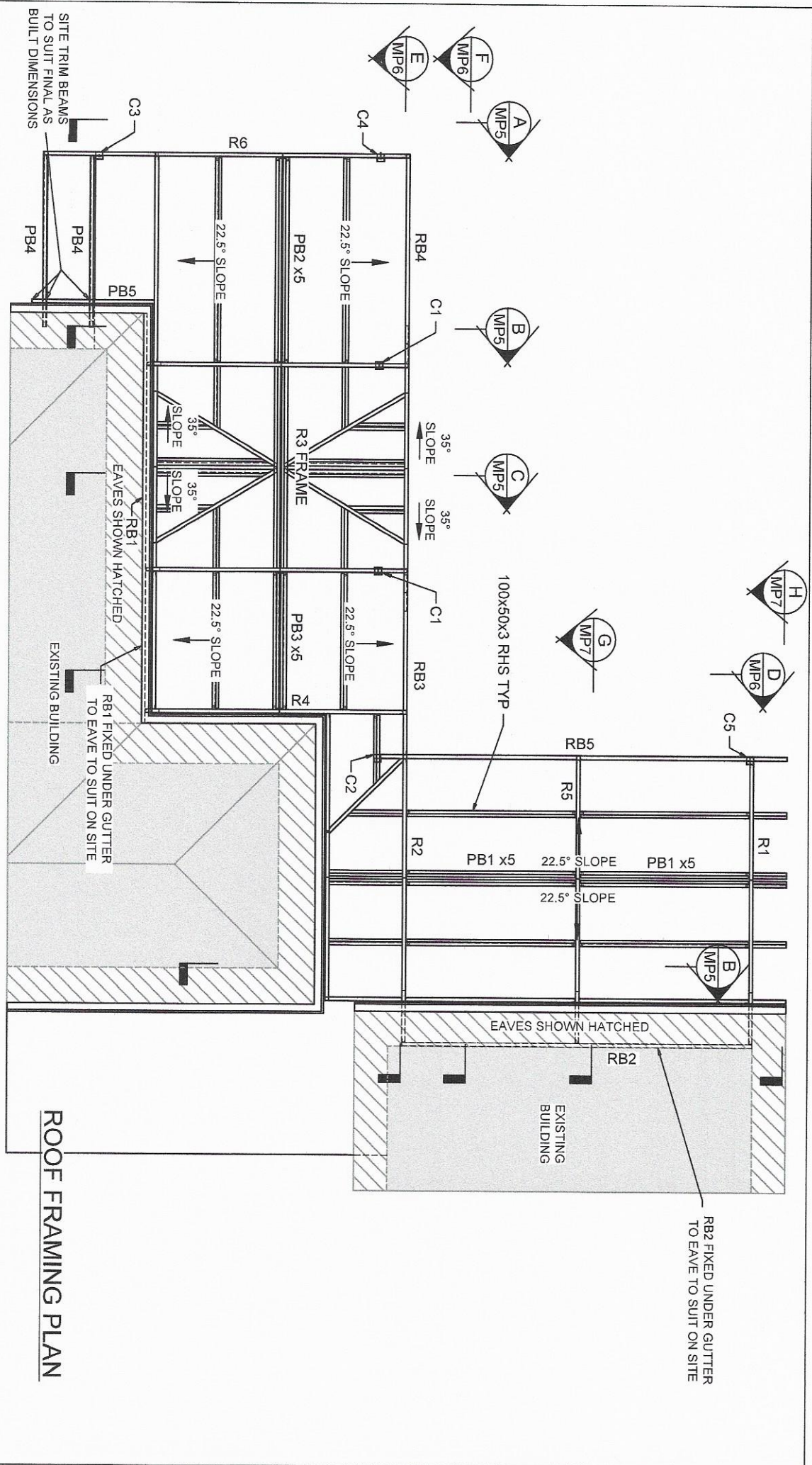


**ISOMETRIC VIEW**

DRAWING REVISIONS		QUALITY ASSURANCE CHECK LIST		GENERAL NOTES	
		FABRICATED BY:	CHECKED BY:	1. ALL FABRICATION OF STRUCTURAL/METALLIC STEELWORK TO CONFORM WITH PROJECT SPECIFICATIONS.	<p><b>DOMINI DRAFTING</b></p> <p>A.B.N. 71 638 121 767    Mobile 052 341    Edmond@dominidrafting.com.au</p>
		WELDED BY:	CHECKED BY:	2. ALL SURFACE PREPARATION, PAINTING AND GALVANISING TO CONFORM WITH PROJECT SPECIFICATIONS.	
C	8/03/2024			3. FOR GENERAL STRUCTURAL/METALLIC WORKS ALL WELDS FROM PRE & POST WELD/DRILL CHECK	
B	6/12/2023			4. ALL WELTS TO BE FULL STRENGTH COMPLETE PENETRATION	
A	12/04/2023			5. ALL NOTICES TO HAVE DIMENSIONS TO INTERNAL CORNERS UNLESS OTHERWISE SPECIFIED	
INDEX				6. ALL HOLES TO BE 6227 FOR 100 BOLT S UNLESS OTHERWISE SPECIFIED	
		MEMBER SIZE:	HOLE SIZES:		
		WELD SIZES/TEMP:	WELD SIZES/TEMP:		
		DIAGONALS:	DIAGONALS:		
		AND/OR SQUARE:	AND/OR SQUARE:		
		LOCATIONS:	LOCATIONS:		
		PROJECT: 9 BIMBIMBI AVE. PROSPECT		CLIENT: GARY O'KEEFE	
		DRAWING No: 23018 - MP2		DETAILER: C.JONES	
		COATING: Coating as specified		SCALE AT A3: 1:60	
				DATE: 12/04/2023	
				STATUS: Not Set	
				INDEX	
				C	







**DRAWING REVISIONS**

Index	Date	Description
A	12/04/2023	PRELIMINARY FOR REVIEW
B	6/12/2023	ISSUED FOR CLIENT REVIEW
C	8/03/2024	REISSUED FOR APPROVAL

**QUALITY ASSURANCE CHECK LIST**

QUALITY ASSURANCE CHECK LIST	FABRICATED BY:	CHECKED BY:
WELDED BY:		
PRE & POST WELD/DRILL CHECK		
MEMBER SIZE:		
HOLE SIZES:		
WELD SIZES/PREP:		
STRONGTIGHTENING DIMENSIONS:		
AMIDOR SQUARE:		

**GENERAL NOTES**

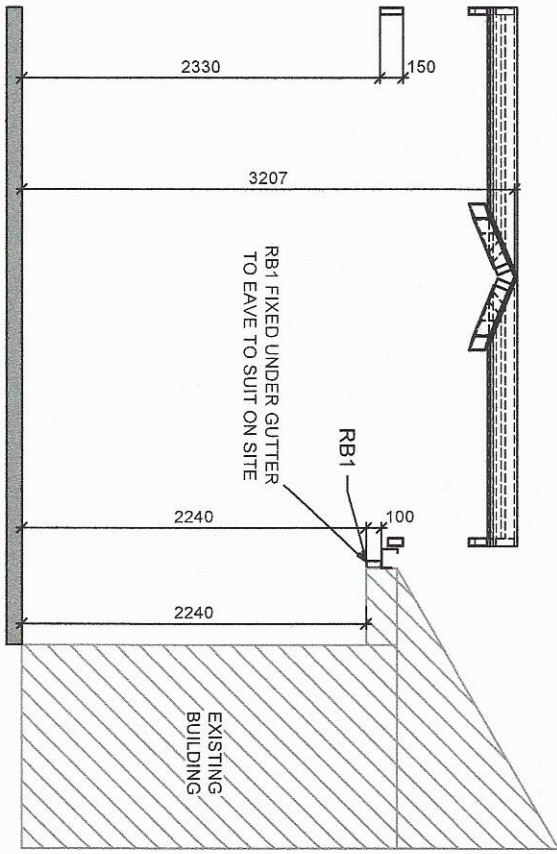
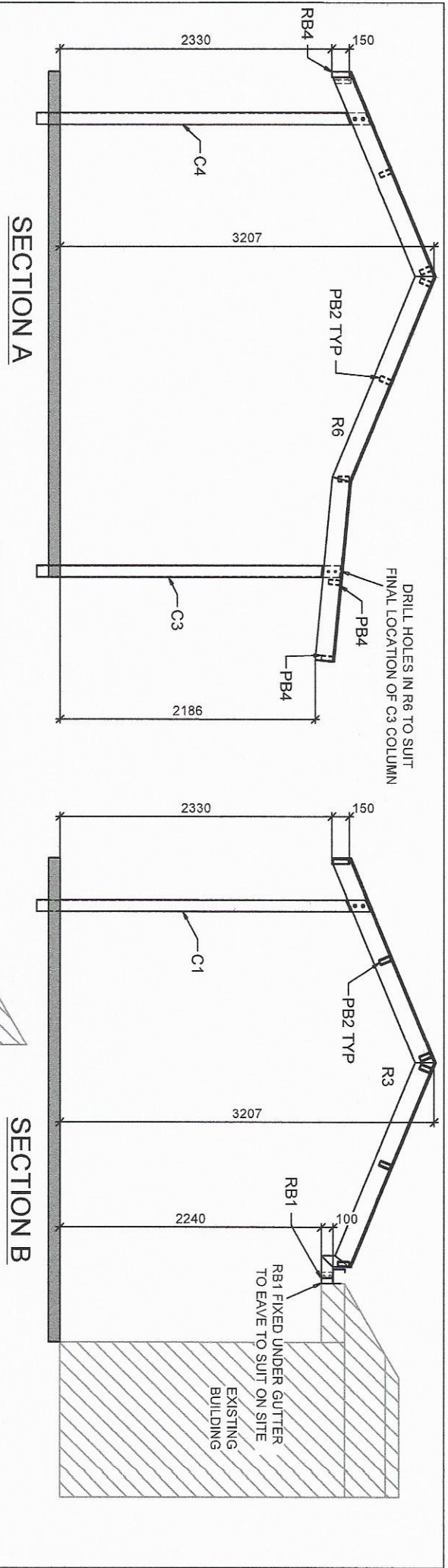
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2. ALL STRUCTURE PREPARED, PAINTING AND GALVANIZING TO CONFORM WITH PROJECT SPECIFICATIONS.
3. FOR GENERAL STRUCTURAL/METALLURGICAL WORKS ALL WELDS SHALL BE TO CONFORM WITH AS/NZS 1554.1 & 1554.2.
4. ALL NOTICES TO HAVE TO BE 100% FOR WELDING.
5. ALL NOTICES TO HAVE TO BE 100% FOR WELDING.
6. ALL NOTICES TO HAVE TO BE 100% FOR WELDING.



**ROOF FRAMING PLAN**

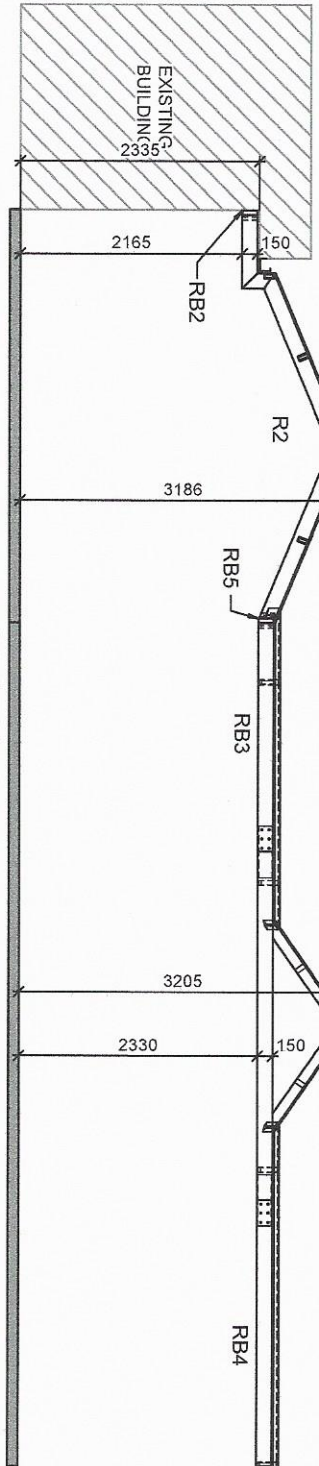
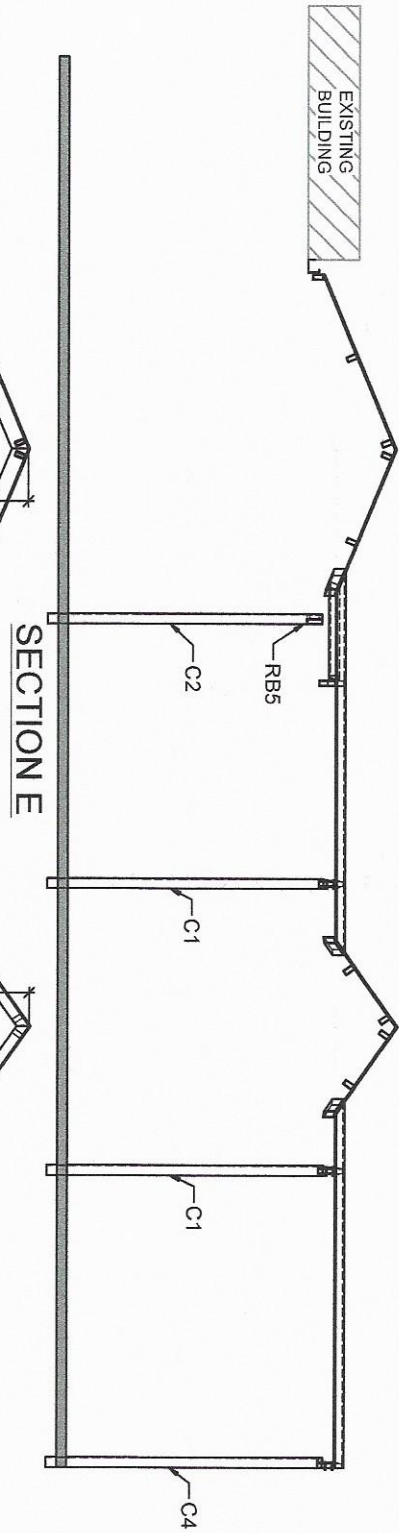
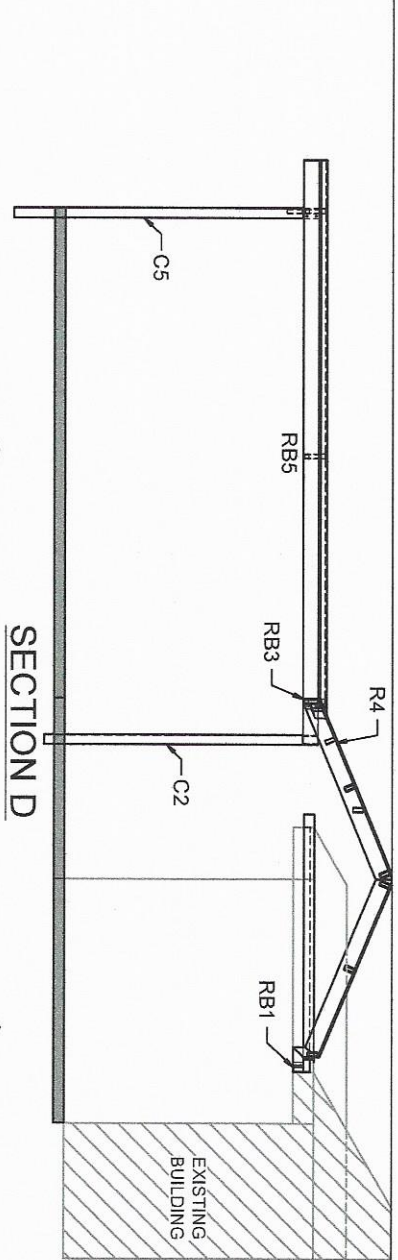
PROJECT: 9 BIMBIMI AVE, PROSPECT  
 PROPOSED AWNING DETAILS

CLIENT: GARY O'KEEFE	DETAILER: C. JONES
DRAWING No: 23018 - MP4	SCALE AT A3: 1:50
COATING: Coating as specified	DATE: 12/04/2023
	STATUS: Not Set
	INDEX: C



DRAWING REVISIONS		QUALITY ASSURANCE CHECK LIST		GENERAL NOTES	
		FABRICATED BY:	CHECKED BY:	1. ALL FABRICATION OF STRUCTURAL/MECHANICAL STEELWORK TO CONFORM WITH PROJECT SPECIFICATIONS.	<p><b>PROJECT: 9 BIMBIMBI AVE, PROSPECT PROPOSED AWNING DETAILS</b></p> <p>CLIENT: GARY O'KEEFE DRAWING No. 23018 - MP5 COATING: Coating as specified</p> <p>DETAILER: C.JONES SCALE AT A3: 1:33 1/3 DATE: 12/04/2023 STATUS: Not Set</p>
C	8/03/2024	REISSUED FOR APPROVAL	MEMBER SIZE:	2. ALL SURFACE PREPARATION, PAINTING AND GALVANIZING TO CONFORM WITH PROJECT SPECIFICATIONS.	
B	6/12/2023	ISSUED FOR CLIENT REVIEW	HOLE SIZES:	3. WITH SURFACE PREPARATION, PAINTING AND GALVANIZING TO CONFORM WITH PROJECT SPECIFICATIONS.	
A	12/04/2023	PRELIMINARY, FOR REVIEW	WELD SIZES/PREP:	4. ALL BUTT WELDS TO BE FULL STRENGTH COMPLETE PENETRATION	
Index	Date	Description	LOCATIONS:	5. ALL NOTICES TO HAVE 10mm RADIUS TO INTERNAL CORNERS UNLESS OTHERWISE SPECIFIED	
				6. ALL HOLES TO BE 6225 FOR 620 BOLTS UNLESS OTHERWISE SPECIFIED	





**SECTION F**

**DRAWING REVISIONS**

Index	Date	Description	LOCATIONS:
A	12/04/2023	PRELIMINARY, FOR REVIEW	
B	6/12/2023	ISSUED FOR CLIENT REVIEW	
C	8/03/2024	REISSUED FOR APPROVAL	

**QUALITY ASSURANCE CHECK LIST**

FABRICATED BY:	CHECKED BY:
WELDED BY:	CHECKED BY:
PRE & POST WELD DRILL CHECK	STRAIGHTENING
MEMBER SIZE:	HOLE SIZES:
GOAL LENGTH:	WELD SIZES/REP:
COMPONENTS:	DIMENSIONS AND/OR SQUARE:

**GENERAL NOTES**

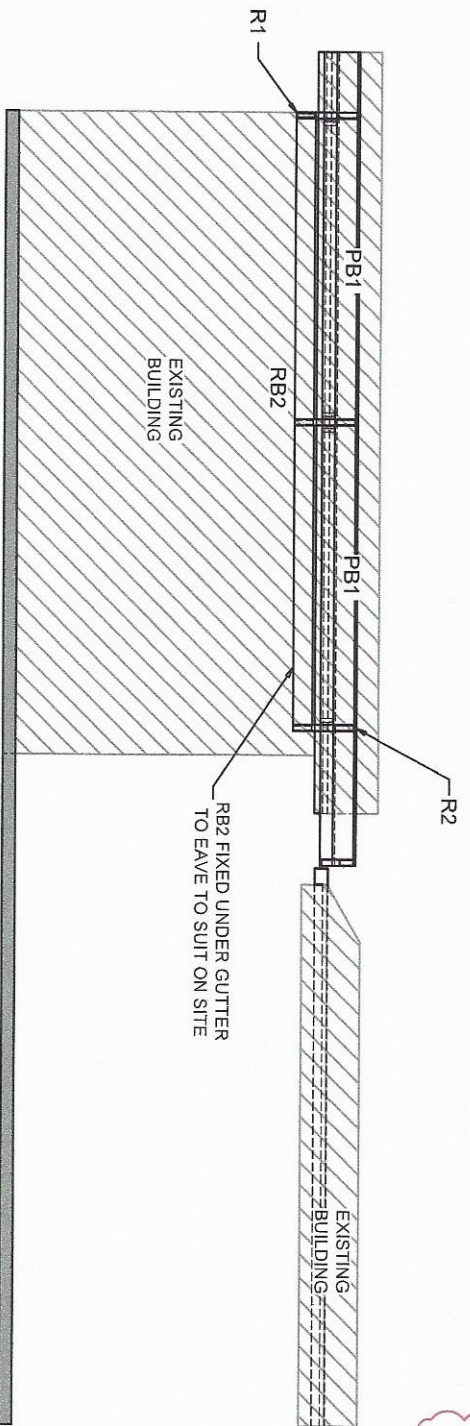
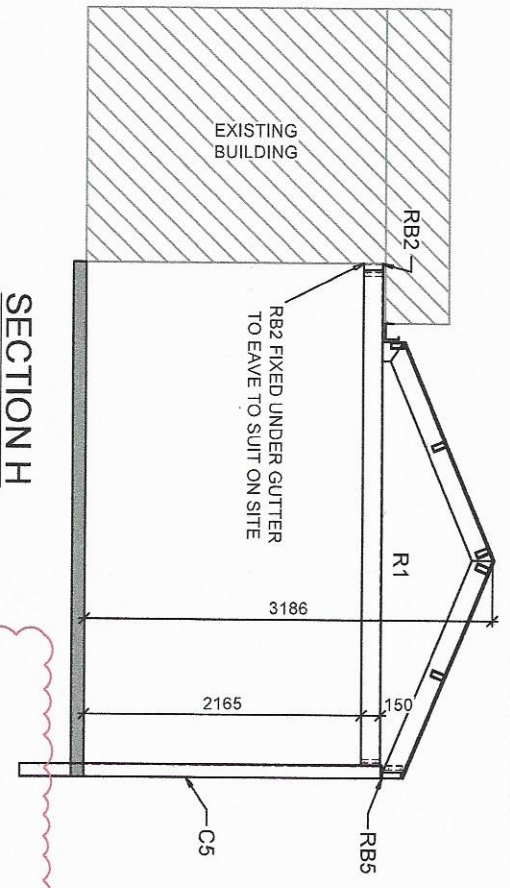
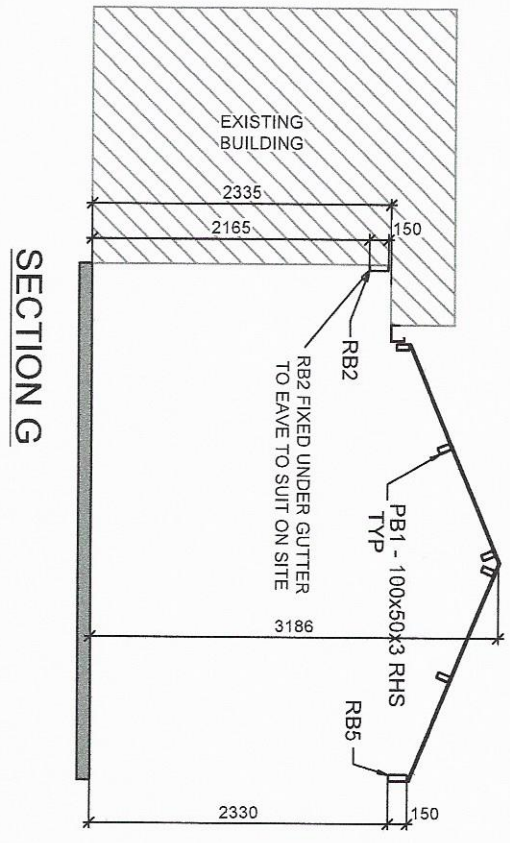
1. ALL FABRICATION OF STRUCTURAL/MECHANICAL STEEL WORK TO CONFORM WITH PROJECT SPECIFICATIONS.
2. ALL SURFACE PREPARATION, PAINTING AND GALVANIZING TO CONFORM WITH PROJECT SPECIFICATIONS.
3. WELDING TO BE PERFORMED BY QUALIFIED WELDERS. ALL WELDS SHOWN TO BE FULL PENETRATION BUTT JOINTS UNLESS OTHERWISE SPECIFIED.
4. ALL BUTT WELDS TO BE FULL STRENGTH COMPLETE PENETRATION BUTT JOINTS UNLESS OTHERWISE SPECIFIED.
5. ALL HOLES TO BE CUT FOR BOLTS UNLESS OTHERWISE SPECIFIED.



PROJECT: 9 BIMBIMI AVE, PROSPECT  
 PROPOSED AWNING DETAILS

CLIENT: GARY O'KEEFE  
 DRAWING No: 23018 - MP6  
 DETAILER: C.JONES

COATING: Coating as specified  
 SCALE AT A3: 1:50  
 DATE: 12/04/2023  
 STATUS: Not Set  
 INDEX



DRAWING REVISIONS		QUALITY ASSURANCE CHECK LIST	
		FABRICATED BY:	CHECKED BY:
		WELDED BY:	CHECKED BY:
C	6/03/2024	RE-ISSUED FOR APPROVAL	PRE & POST WELD/DIBILL CHECK
B	6/12/2023	ISSUED FOR CLIENT REVIEW	MEMBER SIZE: HOLE SIZES: STRAIGHTENING
A	12/04/2023	PRELIMINARY FOR REVIEW	MEMBER SIZE: HOLE SIZES: STRAIGHTENING
Index	Date	Description	LOCATIONS

GENERAL NOTES	
1.	ALL FABRICATION OF STRUCTURAL/METALLIC STEELWORK TO CONFORM WITH PROJECT SPECIFICATIONS.
2.	ALL SURFACE PREPARATION, PAINTING AND GALVANISING TO CONFORM WITH PROJECT SPECIFICATIONS.
3.	FOR GENERAL STRUCTURAL/METALLIC WORKING ALL WELDS FROM CONSTRUCTION SHALL BE CARF AND FINISH TO S4.4.1.0.
4.	ALL BUTT WELDS TO BE FULL PENETRATION COMPLETE PENETRATION U.O.
5.	ALL NOTICES TO HAVE 10mm RADIUS TO INTERNAL CORNERS U.O.
6.	ALL HOURS TO BE 922 FOR MOD 50/18 U.O.

PROJECT: 9 BIMBIMBI AVE, PROSPECT PROPOSED AWNING DETAILS	
CLIENT: GARY O'KEEFE	DETAILER: C.JONES
DRAWING No: 23018 - MP7	SCALE: A3 1:40
COATING: Coating as specified	DATE: 12/04/2023
	STATUS: Not Set
	INDEX: C











