



Meander Valley Council
Working Together

PLANNING NOTICE

An application has been received for a Permit under s.57 of the Land Use Planning Approvals Act 1993:

APPLICANT:	BVZ Designs - PA\25\0006
PROPERTY ADDRESS:	6 Liddesdale Drive DELORAINE (CT: 184483/6)
DEVELOPMENT:	Single dwelling & Residential Outbuilding (garage) - setbacks.

The application can be inspected until **Monday, 12 August 2024**, at www.meander.tas.gov.au or at the Council Office, 26 Lyall Street, Westbury (during normal office hours).

Written representations may be made during this time addressed to the General Manager, PO Box 102, Westbury 7303, or by email to planning@mvc.tas.gov.au. Please include a contact phone number. Please note any representations lodged will be available for public viewing.

If you have any questions about this application please do not hesitate to contact Council's Planning Department on 6393 5320.

Dated at Westbury on 27 July 2024.

Jonathan Harmey
GENERAL MANAGER

APPLICATION FORM

PLANNING PERMIT

Land Use Planning and Approvals Act 1993



Meander Valley Council
Working Together

- Application form & details MUST be completed **IN FULL**.
- Incomplete forms will not be accepted and may delay processing and issue of any Permits.

OFFICE USE ONLY

Property No:	<input type="text"/>	Assessment No:	<input type="text"/>	-	<input type="text"/>	-	<input type="text"/>
DA\	<input type="text"/>	PA\	<input type="text"/>	PC\	<input type="text"/>		

- Is your application the result of an illegal building work? Yes No Indicate by ✓ box
- Have you already received a Planning Review for this proposal? Yes No
- Is a new vehicle access or crossover required? Yes No

PROPERTY DETAILS:

Address:	<input type="text" value="6 LIODESDALE DRIVE"/>	Certificate of Title:	<input type="text" value="184483"/>
Suburb:	<input type="text" value="DELRUAINÉ"/>	<input type="text" value="2304"/>	Lot No: <input type="text" value="6"/>
Land area:	<input type="text" value="1702"/>	m ² / ha ✓	
Present use of land/building:	<input type="text" value="VACANT LAND"/>	(vacant, residential, rural, industrial, commercial or forestry)	

- Does the application involve Crown Land or Private access via a Crown Access Licence: Yes No
- Heritage Listed Property: Yes No

DETAILS OF USE OR DEVELOPMENT:

- Indicate by ✓ box
- | | | | |
|---|--|--------------------------------------|-------------------------------------|
| <input checked="" type="checkbox"/> Building work | <input type="checkbox"/> Change of use | <input type="checkbox"/> Subdivision | <input type="checkbox"/> Demolition |
| <input type="checkbox"/> Forestry | <input type="checkbox"/> Other | | |

Total cost of development (inclusive of GST): Includes total cost of building work, landscaping, road works and infrastructure

Description of work:

Use of building: (main use of proposed building – dwelling, garage, farm building, factory, office, shop)

New floor area: m² New building height: m

Materials: External walls: Colour:

Roof cladding: Colour:

SEARCH OF TORRENS TITLE

VOLUME 184483	FOLIO 6
EDITION 1	DATE OF ISSUE 20-Mar-2023

SEARCH DATE : 07-Jun-2024

SEARCH TIME : 02.34 PM

DESCRIPTION OF LAND

Parish of MALLING Land District of DEVON
 Lot 6 on Sealed Plan 184483
 Derivation : Part of Lot 429, 213 Acres Gtd. to James Duff
 Mackay & William Kenney
 Prior CT 37095/1

SCHEDULE 1

M892079 TRANSFER to PATON ENTERPRISES PTY LTD Registered
 30-Jul-2021 at noon

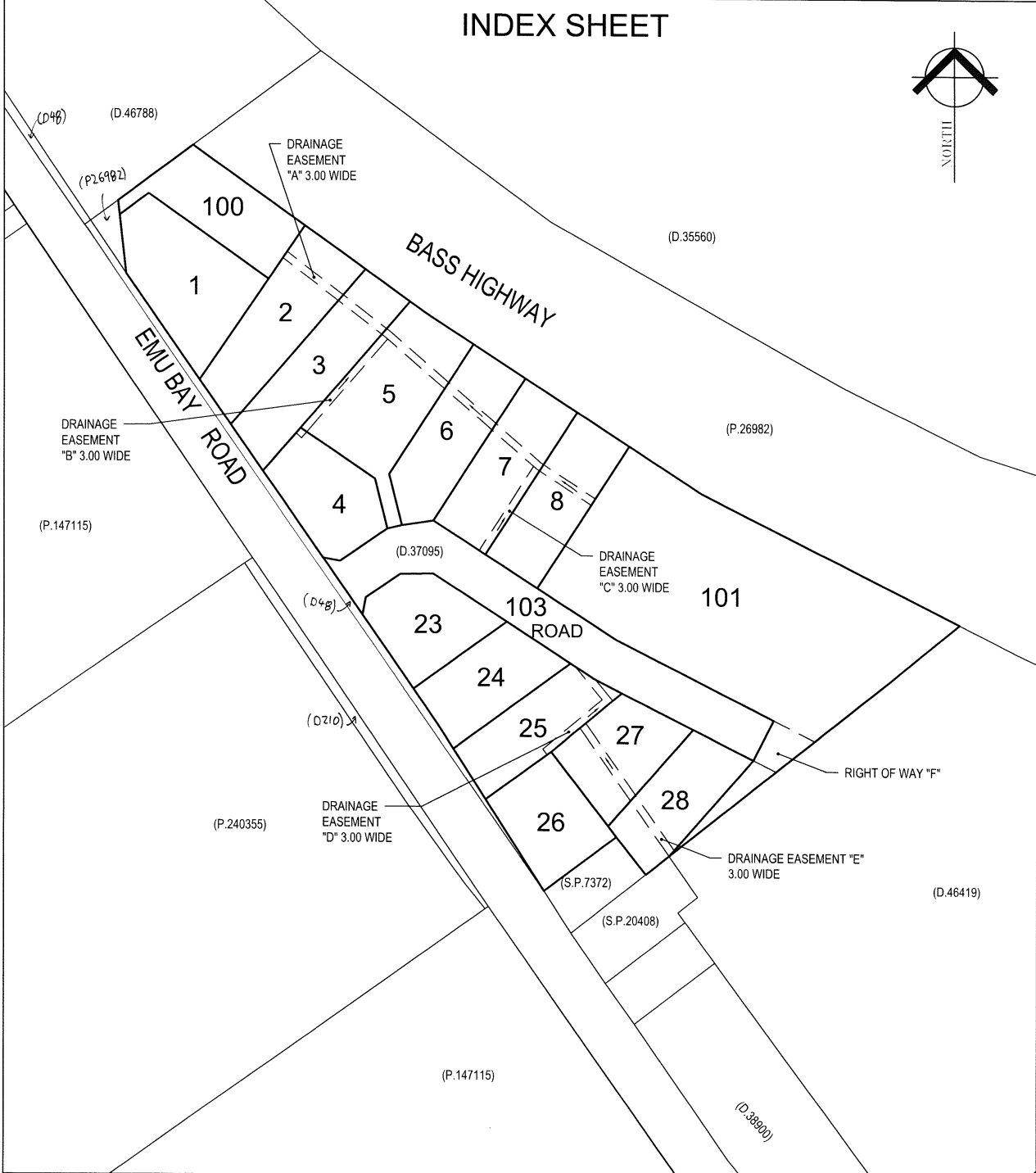
SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 SP184483 EASEMENTS in Schedule of Easements
 SP184483 FENCING COVENANT in Schedule of Easements
 SP184483 SEWERAGE AND/OR DRAINAGE RESTRICTION
 A854244 PROCLAMATION under Section 9A and 52A of the Roads
 and Jetties Act 1935 Registered 21-Jul-1983 at 12.01
 PM
 B738897 PROCLAMATION under Section 52A of the Roads and
 Jetties Act 1935 Registered 10-May-1995 at noon

UNREGISTERED DEALINGS AND NOTATIONS

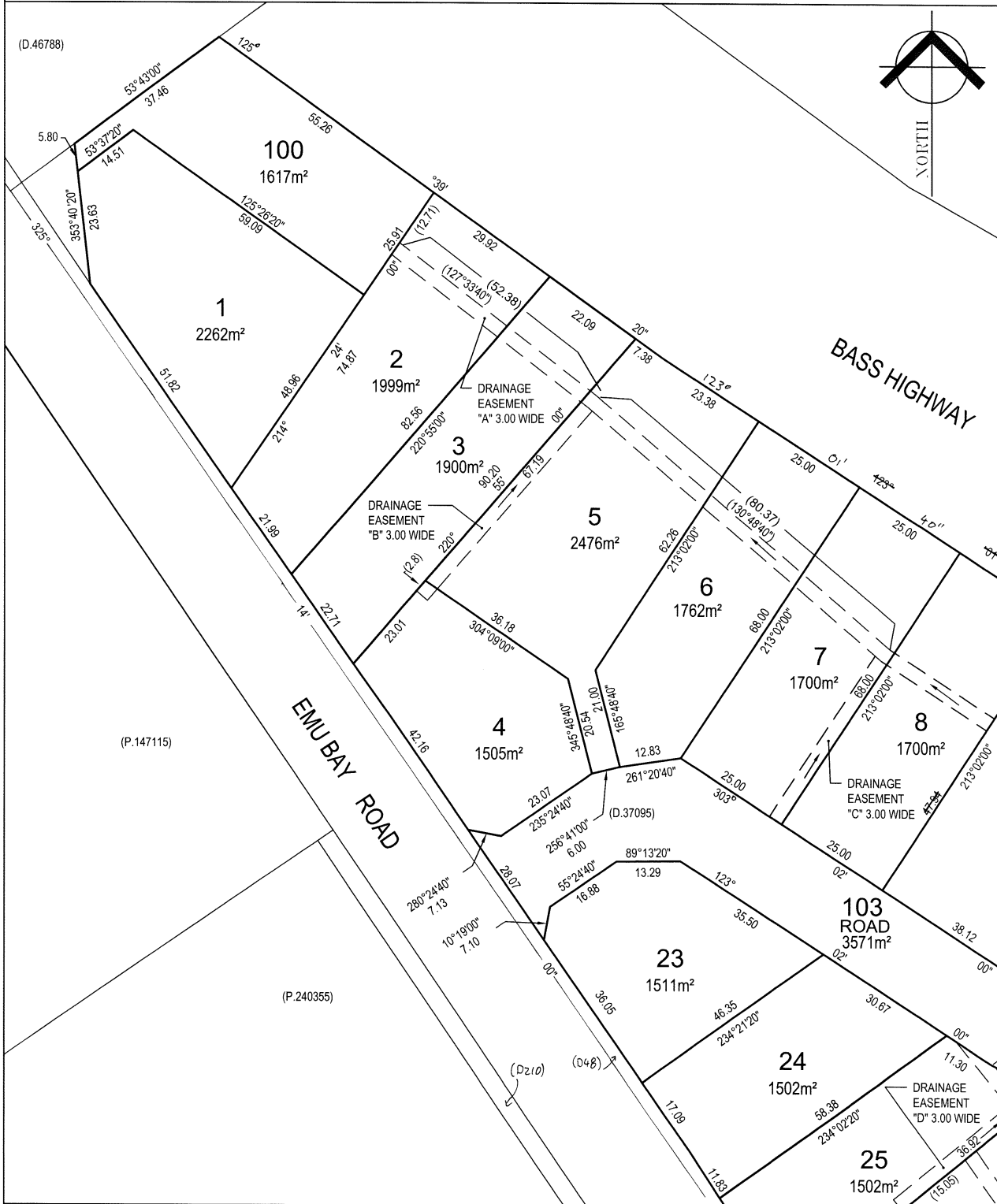
No unregistered dealings or other notations

OWNER PATON ENTERPRISES PTY LTD	PLAN OF SURVEY BY SURVEYOR R. M. PECK LOCATION LAND DISTRICT OF DEVON PARISH OF MALLING SCALE 1:1500 LENGTHS IN METRES	REGISTERED NUMBER SP184483
FOLIO REFERENCE C.T. 37095/1, GRANTEE PART OF LOT 429 213 ^{AC} GRANTED TO JAMES DUFF MACKAY AND WILLIAM KENNEY		APPROVED EFFECTIVE FROM 20 MAR 2023 Recorder of Titles
MAPSHEET MUNICIPAL CODE No	LAST UPI No	LAST PLAN No. D.37095
ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN		

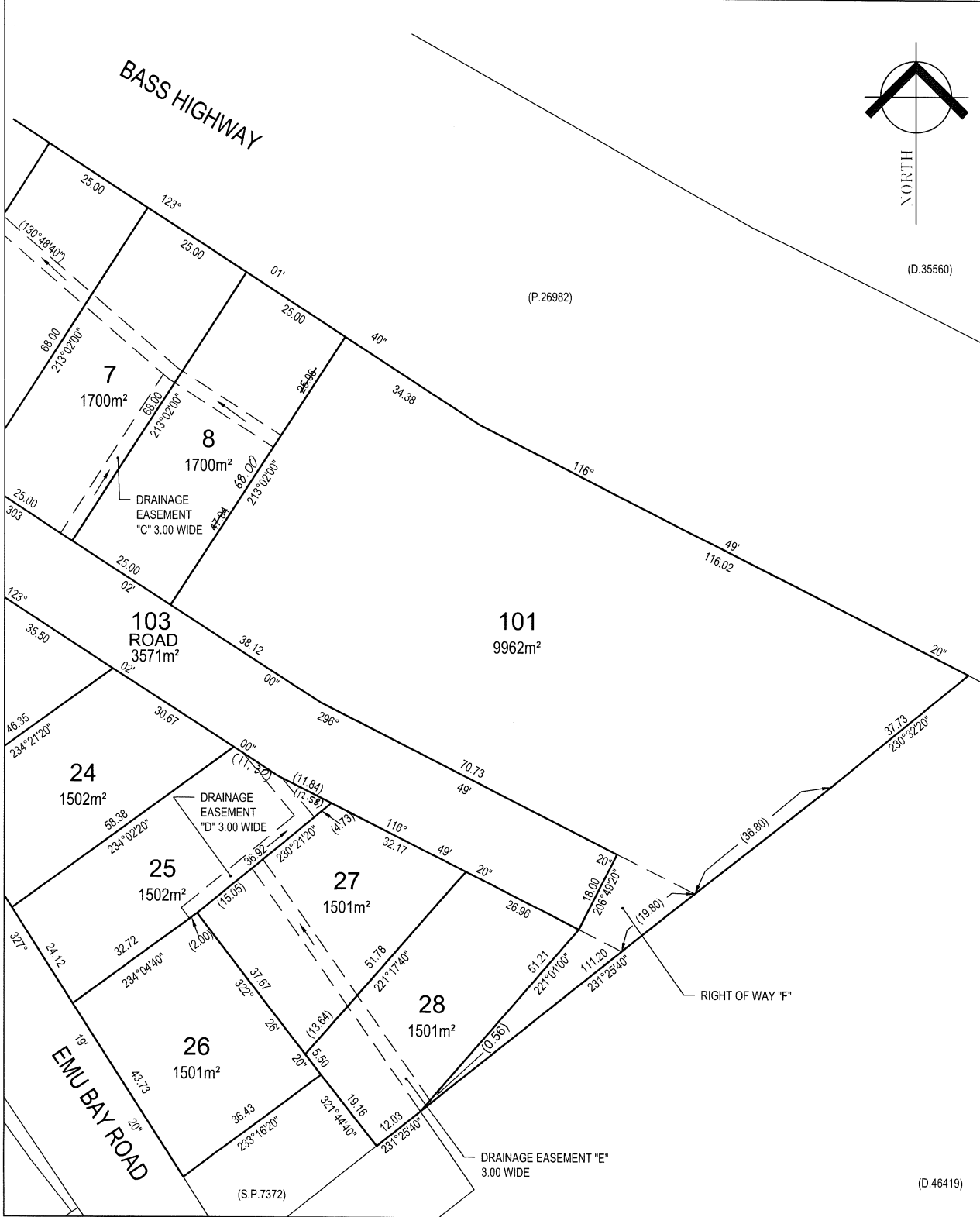


 REGISTERED LAND SURVEYOR	13.02.23 DATE	 COUNCIL DELEGATE	16.2.2023 DATE
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<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 1 OF 2 SHEETS</p>	<p>OWNER PATON ENTERPRISES PTY LTD FOLIO REFERENCE C.T. 37095/1 SCALE 1:750 LENGTH IN METRES</p>	<p>Registered Number SP. 184483</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES <i>[Signature]</i> 16.2.2023 Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET <i>[Signature]</i> 19/12/22 Registered Land Surveyor Date</p>	<p>APPROVED EFFECTIVE FROM 20 MAR 2023 <i>[Signature]</i> Recorder of Titles</p>



<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 2 OF 2 SHEETS</p>	<p>OWNER PATON ENTERPRISES PTY LTD FOLIO REFERENCE C.T. 37095/1 SCALE 1:750 LENGTH IN METRES</p>	<p>Registered Number SP.184483</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES <i>M. Kelly</i> Council Delegate 16.2.2023 Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET <i>R.M. Wilson</i> Registered Land Surveyor 13.02.23 Date</p>	<p>APPROVED EFFECTIVE FROM 20 MAR 2023 <i>Reynolds</i> Recorder of Titles</p>



SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP. 184483

PAGE 1 OF 2 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lots 2, 3, 5, 6, 7 and 8 on the Plan are each SUBJECT TO a right of drainage for the Meander Valley Council over the land marked Drainage Easement "A" 3.00 Wide shown on the Plan.

Lots 4 and 5 on the Plan are each SUBJECT TO a right of drainage for the Meander Valley Council over the land marked Drainage Easement "B" 3.00 Wide shown on the Plan.

Lot 7 on the Plan is SUBJECT TO a right of drainage for the Meander Valley Council over the land marked Drainage Easement "C" 3.00 Wide shown on the Plan.

Lot 25 on the Plan is SUBJECT TO a right of drainage for the Meander Valley Council over the land marked Drainage Easement "D" 3.00 Wide on the Plan.


Lots 27, 28 and 101 on the Plan are each SUBJECT TO a right of drainage for the Meander Valley Council over the land marked Drainage Easement "E" 3.00 Wide on the Plan.

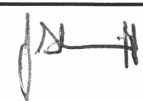
Lot 101 on the Plan is SUBJECT TO a right ^{of} carriage_{way} for the Meander Valley Council over Right of Way "F" shown on the Plan and passing through that Lot.

FENCING COVENANT

The owner of each Lot covenants with the Vendor Paton Enterprises Pty Ltd (A.C.N. 639 417 217) that the said Paton Enterprises Pty Ltd (A.C.N. 639 417 217) shall not be required to fence.

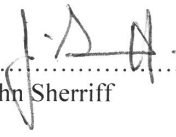
(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: PATON ENTERPRISES PTY LTD	PLAN SEALED BY: Meander Valley Council
FOLIO REF: 37095/1	DATE: 16 February 2023
SOLICITOR & REFERENCE: Shields Heritage DA Smith	PA/23/0020 REF NO.
	 Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	



<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 2 OF 2 PAGES</p>	<p>Registered Number</p> <p>SP, 184483</p>
<p>SUBDIVIDER: PATON ENTERPRISES PTY. LTD. FOLIO REFERENCE: 37095/1</p>	

EXECUTED by PATON ENTERPRISES)
 PTY LTD (A.C.N. 639 417 217) the)
 registered proprietor of the land comprised)
 in Folio of the Register Volume 37095 Folio 1)
 pursuant to Section 127(1)(c) of the)
 Corporations Act 2001 by being signed by)
 the company's sole director who is also the)
 sole company secretary)



 Jason John Sherriff

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



BRADLEY VAN ZETTEN

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LICENCE NUMBER 957699796

Reply to the planning scheme
For Paton Enterprises Pty Ltd
6 Liddesdale Drive
Deloraine 7304

10.4 Development Standards for Dwellings

10.4.1 Residential density for multiple dwellings
A1 – Not applicable

10.4.2 Building height
A1 – Acceptable solution compliant

10.4.3 Setback
P1

The siting of a dwelling must be compatible with the streetscape and character of development existing on established properties in the area, having regard to:

- (a) the topography of the site;*
- (b) the setbacks of surrounding buildings;*
- (c) the height, bulk and form of existing and proposed buildings;*
- (d) the appearance when viewed from roads and public open space adjacent to the site; and*
- (e) the safety of road users.*

P1 - Due to the topography of the site with the 50m setback from the highway boundary required for both the sound setback and bushfire setback, the building needed to be pushed forward on the lot. The neighbouring dwelling is set back from the front boundary 6.6m to the garage door, so has also varied the acceptable solution front setback.

The proposed dwelling has a setback of 7.0m, which is over the general residential requirements of 5.5m to the garage door so that a car can be parked in front of the garage door without protruding off the title boundary.

While the zoning is low-density residential, the lots are not a lot wider than a regular general residential subdivision, with the blocks just being longer, so the appearance from Liddesdale Drive with a 7.0m setback will not look out of place with the subdivision being on the edge of the Deloraine's residential area. As the house is not square to the boundary it varies from 7-11.1m setback so the average setback is greater than the 8m acceptable solution.

P2

The siting of a dwelling must not cause an unreasonable loss of amenity to adjoining properties, having regard to:

- (a) the topography of the site;*
- (b) the size, shape and orientation of the site;*
- (c) the setbacks of surrounding buildings;*
- (d) the height, bulk and form of existing and proposed buildings;*
- (e) the existing buildings and private open space areas on the site;*
- (f) sunlight to private open space and windows of habitable rooms on adjoining properties; and*



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(g) the character of development existing on established properties in the area.

P2 – As with the above point, while the lots are bigger than typical general residential zoned lots, they are not much wider than a regular lot. They are just longer. This has meant that even with a relatively small dwelling (22 squares) and the house placed in the middle of the lot, width wise, it is inside the acceptable solution.

The closest point to the side boundary is 1.6m to the 21.0m boundary. This will not have any negative effect on the neighbouring property as that boundary is just an internal driveway so there will never be any building/ yard space at the closest point.

Then, on the two boundary parallel to the dwelling, the proposed setback is 3.1/4m from the side boundary, it will not impact the sunlight of the neighbouring properties. Several buildings at the other end of the subdivision have reduced setbacks to the side boundaries.

The proposed shed is setback 2.5m from the side boundary so that the driveway does not end up to sharp for access into it. The proposed shed can not go back on the lot anymore due to the requirements from the wastewater system taking up the space behind the shed.

10.4.4 Site coverage

A1 – Acceptable solution compliant

10.4.5 Frontage fences for all dwellings

A1 – Not applicable

Kind Regards

A handwritten signature in blue ink, appearing to read 'BVZ', is written over a light blue horizontal line.

Bradley Van Zetten

LEGEND
PAGE 1# COVER PAGE
PAGE 2# EXISTING SITE SURVEY PLAN
PAGE 3# SITE PLAN

PAGE 3A# SHADOW DRAWINGS
PAGE 3B# SHADOW DRAWINGS
PAGE 3C# SHADOW DRAWINGS
PAGE 3D# SHADOW DRAWINGS
PAGE 3E# SHADOW DRAWINGS
PAGE 3F# SHADOW DRAWINGS
PAGE 3G# SHADOW DRAWINGS

PAGE 4# SITE PLUMBING PLAN
PAGE 5# SOIL AND WATER MANAGEMENT PLAN
PAGE 6# FLOOR PLAN
PAGE 7# FLOOR PLAN WITH DIMENSIONS
PAGE 8# ELEVATIONS
PAGE 9# ELEVATIONS
PAGE 10# ROOF PLAN

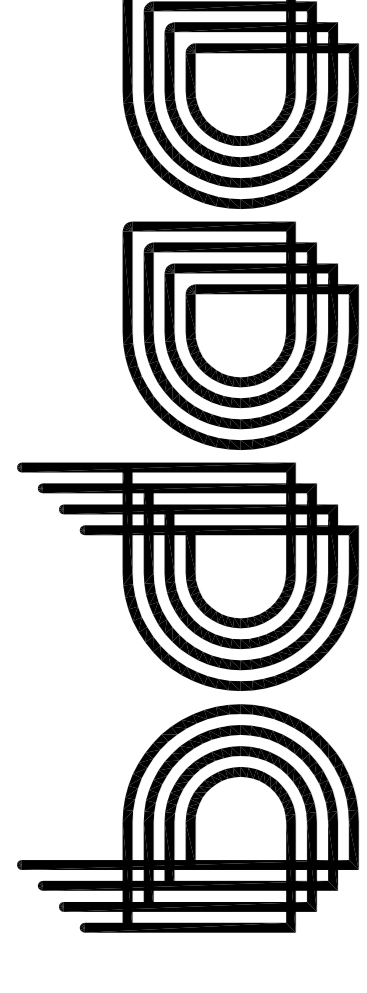
COUNCIL – MEANDER VALLEY COUNCIL
ZONE – LOW DENSITY RESIDENTIAL
CODE – BUSHFIRE PRONE AREA
LANDSLIDE BAND – NIL

TITLE REF. = 184483/6

BUSHFIRE-PRONE AREA BAL RATING LOW
AS PER RMCG SUBDIVISIONS REPORT

CORROSION ENVIRONMENT – MEDIUM

CLIMATE ZONE FOR THERMAL DESIGN = 7
REFER TO ENERGY REPORT BY 2DR



**BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA**

ALPINE AREA – N/A LESS THAN 900m AHD

OTHER HAZARDS – N/A

ALL DIMENSIONS SHOWN ARE TO OUTSIDE OF
BRICKWORK CLADDING OR TIMBER FRAMING ON CLAD
HOUSES UNLESS NOTED OTHERWISE

CONFIRM ALL DIMENSIONS AND SERVICES ON SITE
PRIOR TO COMMENCEMENT OF WORKS

IF IN ANY DOUBT ABOUT BEARING AND BOUNDARIES
THEN THESE MUST BE CONFIRMED ONSITE BY A
SURVEYOR PRIOR TO SETOUT

ENSURE DRAWINGS USED ONSITE ARE STAMPED
'APPROVED' PLANS BY BUILDING SURVEYOR AND
PERMIT AUTHORITY

H4D9 CONDENSATION MANAGEMENT TO BE
COMPLIANT WITH NCC PART 10.8 CONDENSATION
MANAGEMENT.

NOTES
(1)REFER TO THE GUIDANCE IN THE "CONDENSATION IN
BUILDINGS TASMANIAN DESIGNERS' GUIDE" – CURRENT VERSION
AVAILABLE AT WWW.CBOS.TAS.GOV.AU. THIS GUIDE MUST BE
READ IN CONJUNCTION WITH THE NCC.

IF ANY DISCREPANCIES, APPARENT ERROR,
ANOMALY OR AMBIGUITY WITHIN THE
DOCUMENTATION IS FOUND. THE DESIGNER IS TO BE
CONTACTED PRIOR TO ANY MORE CONSTRUCTION
CONTINUING.

ENSURE THAT DRAWINGS ARE NOT SCALED AND
THAT THE NOTED DIMENSIONS ARE USED FOR
ACCURACY. IF IN ANY DOUBT CONTACT DESIGNER

PROPOSED DWELLING FOR PATON ENTERPRISES PTY LTD AT 6 LIDDESDALE DRIVE DELORRAINE 7304

REVISION NUMBER	DATE
REVISION 1	10 / 06 / 2024
REVISION 2	23 / 06 / 2024
REVISION 3	01 / 07 / 2024
REVISION 4	04 / 07 / 2024
REVISION 5	15 / 07 / 2024

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OTHER WITHOUT EXPRESS PERMISSION OF THE AUTHOR.



DESIGNS

**BRADLEY
VAN ZETTEN**

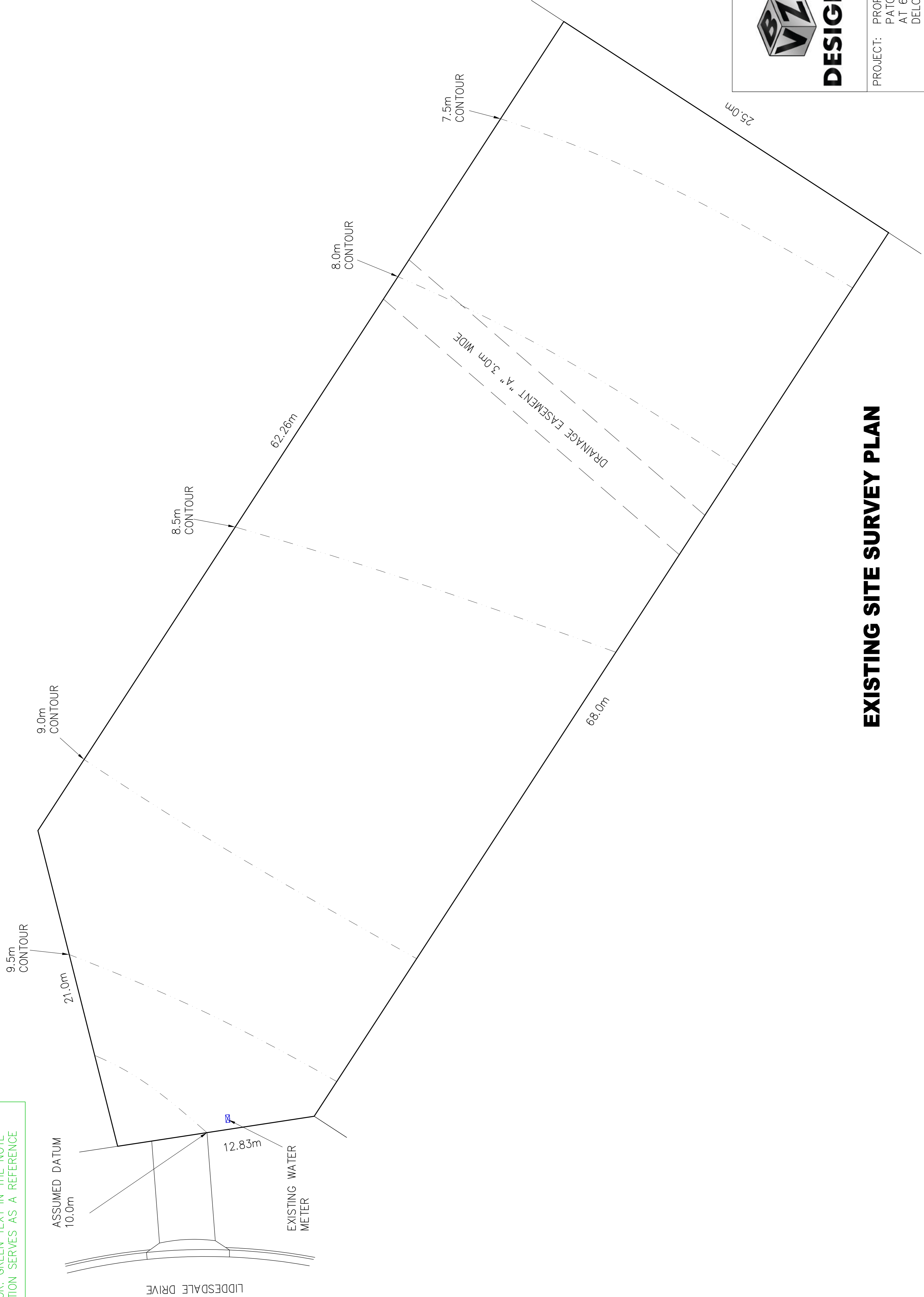
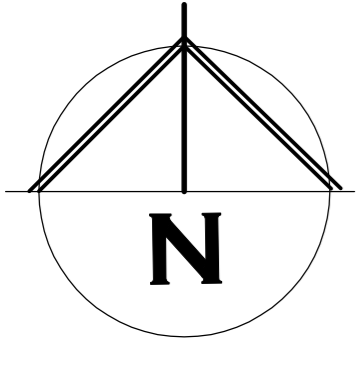
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LICENCE NUMBER 957699796

THIS PAGE FEATURES COLORED LINES AND SHOULD ONLY BE PRINTED IN COLOR. GREEN TEXT IN THE NOTE SECTION SERVES AS A REFERENCE



EXISTING SITE SURVEY PLAN

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 LICENCE NUMBER 957699796

DESIGNS

PROJECT: PROPOSED DWELLING FOR
 PATON ENTERPRISES PTY LTD
 AT 6 LIDDESDALE DRIVE
 DELORAIN 7304

DRAWING: EXISTING SITE SURVEY PLAN

DESIGNED: B. v. Z.
 DRAWN: B. v. Z.

APPROVED:
 DATE: 15 / 07 / 24

SCALE: 1:250.
 A3.
 DRAWING No.: PAT0724 - 2/10

REVISION NUMBER	DATE
REVISION 1	10 / 06 / 2024
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UN-RETAINED BULK EARTHWORKS – SITE CUT AND FILL PART 3.2.1

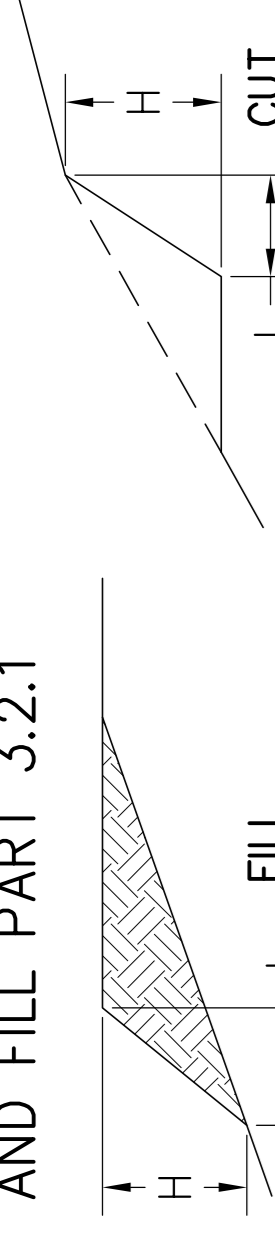


TABLE 3.2.1: SOIL TYPE	EMBANKMENT SLOPES H:L	
	COMPACTED FILL	CUT
STABLE ROCK	3:3	8:1
SAND	1:2	1:2
CLAY	FIRM CLAY	1:1
	SOFT CLAY	2:3
SOFT SOILS	NOT SUITABLE	NOT SUITABLE

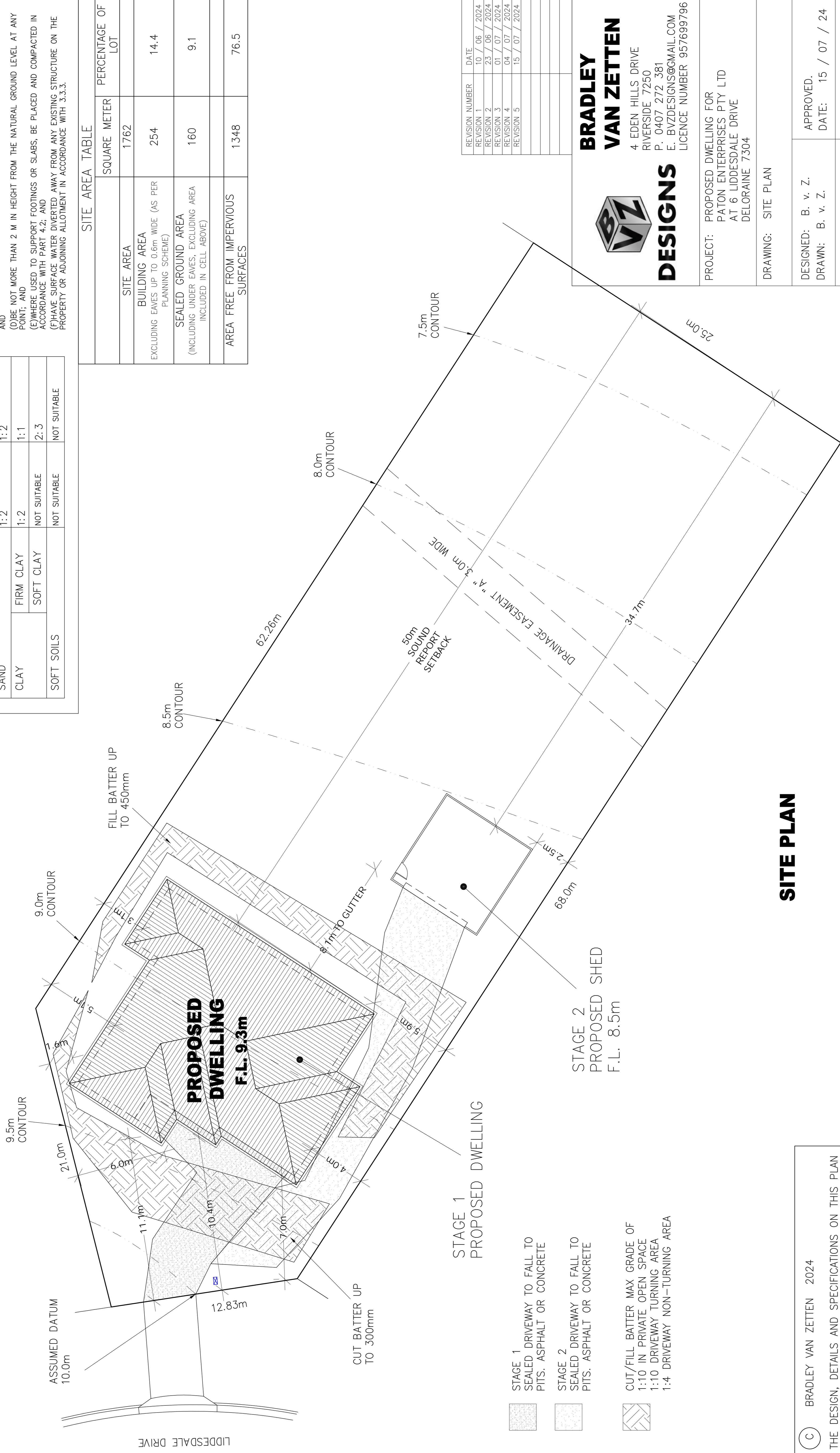
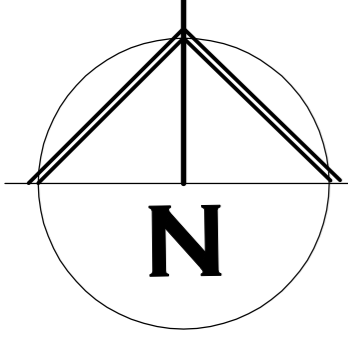
EMBANKMENTS THAT ARE TO BE LEFT EXPOSED AT THE END OF THE CONSTRUCTION WORKS MUST BE STABILISED BY VEGETATION OR SIMILAR TO PREVENT SOIL EROSION

(1) A SITE CUT USING AN UN-RETAINED EMBANKMENT MUST BE--
 (A) WITHIN THE ALLOTMENT; AND
 (B) NOT WITHIN THE ZONE OF INFLUENCE OF ANY EXISTING STRUCTURE ON THE PROPERTY, OR THE ALLOTMENT BOUNDARY AS DEFINED IN TABLE 3.2.1 AND FIGURE 3.2.1A; AND
 (C) NOT DEEPER THAN 2 M FROM THE NATURAL GROUND LEVEL AT ANY POINT.

(2) FILL, USING AN UN-RETAINED EMBANKMENT MUST--
 (A) BE PLACED WITHIN THE ALLOTMENT; AND
 (B) BE PLACED AT A GRADIENT WHICH COMPLIES WITH TABLE 3.2.1 AND FIGURE 3.2.1B; AND
 (C) BE PLACED AND MECHANICALLY COMPACTED IN LAYERS NOT MORE THAN 150 MM; AND
 (D) BE NOT MORE THAN 2 M IN HEIGHT FROM THE NATURAL GROUND LEVEL AT ANY POINT; AND
 (E) WHERE USED TO SUPPORT FOOTINGS OR SLABS, BE PLACED AND COMPACTED IN ACCORDANCE WITH PART 4.2; AND
 (F) HAVE SURFACE WATER DIVERTED AWAY FROM ANY EXISTING STRUCTURE ON THE PROPERTY OR ADJOINING ALLOTMENT IN ACCORDANCE WITH 3.3.3.

SITE AREA TABLE

	SQUARE METER	PERCENTAGE OF LOT
SITE AREA	1762	
BUILDING AREA EXCLUDING EAVES UP TO 0.6m WIDE (AS PER PLANNING SCHEME)	254	14.4
SEALED GROUND AREA (INCLUDING UNDER EAVES, EXCLUDING AREA INCLUDED IN CELL ABOVE)	160	9.1
AREA FREE FROM IMPERVIOUS SURFACES	1348	76.5



- STAGE 1
 SEALED DRIVEWAY TO FALL TO PITS. ASPHALT OR CONCRETE
- STAGE 2
 SEALED DRIVEWAY TO FALL TO PITS. ASPHALT OR CONCRETE
- CUT/FILL BATTER MAX GRADE OF 1:10 IN PRIVATE OPEN SPACE
 1:10 DRIVEWAY TURNING AREA
 1:4 DRIVEWAY NON-TURNING AREA

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PROJECT: PROPOSED DWELLING FOR PATON ENTERPRISES PTY LTD
 AT 6 LIDDESDALE DRIVE
 DELORAIN 7304

DRAWING: SITE PLAN

DESIGNED: B. v. Z.
 DRAWN: B. v. Z.
 SCALE: 1:250.

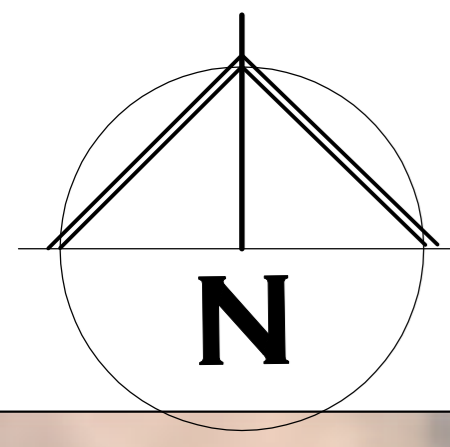
APPROVED: B. v. Z.
 DATE: 15 / 07 / 24

DRAWING No.: PAT0724 - 3/10

SITE PLAN

BRADLEY VAN ZETTEN 2024

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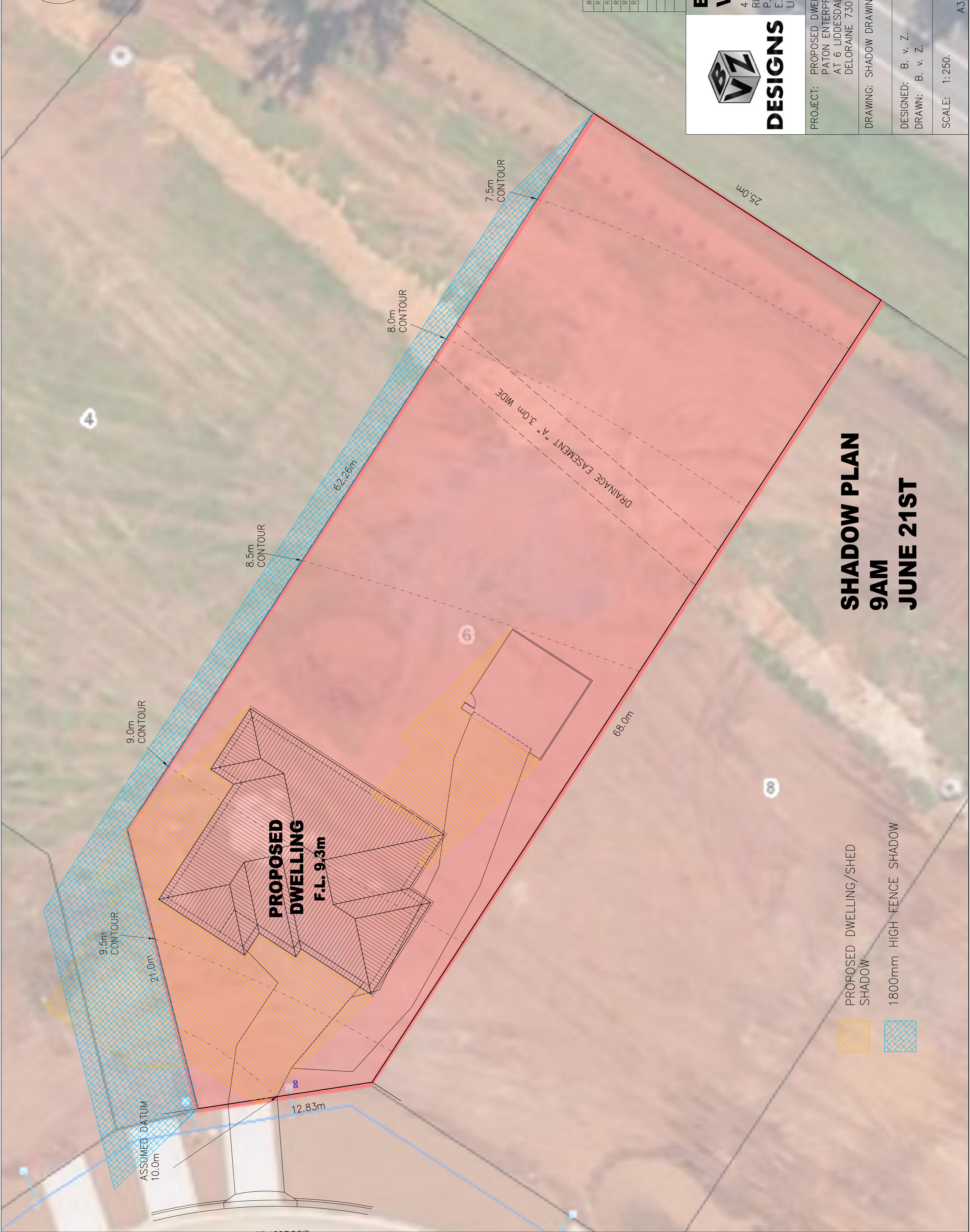


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 PATON ENTERPRISES PTY LTD
 AT 6 LIDDESDALE DRIVE
 DELORAIN 7304

DRAWING: SHADOW DRAWINGS

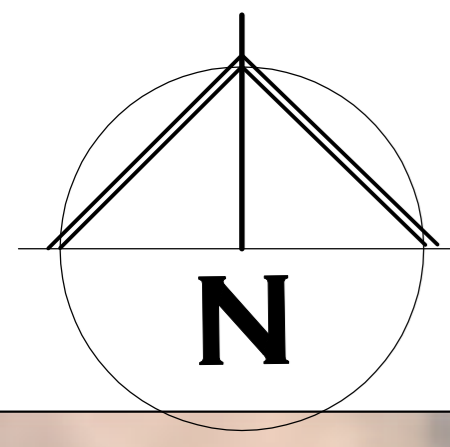
DESIGNED: B. v. Z.
 DRAWN: B. v. Z.

APPROVED: [Signature]
 DATE: 15 / 07 / 24
 SCALE: 1:250.
 DRAWING No.: PAT0724 - 3A/10
 A3




SHADOW PLAN
9AM
JUNE 21ST

- PROPOSED DWELLING/SHED SHADOW
- 1800mm HIGH FENCE SHADOW



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DESIGNS

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AT 6 LIDDESDALE DRIVE
DELORAINE 7304

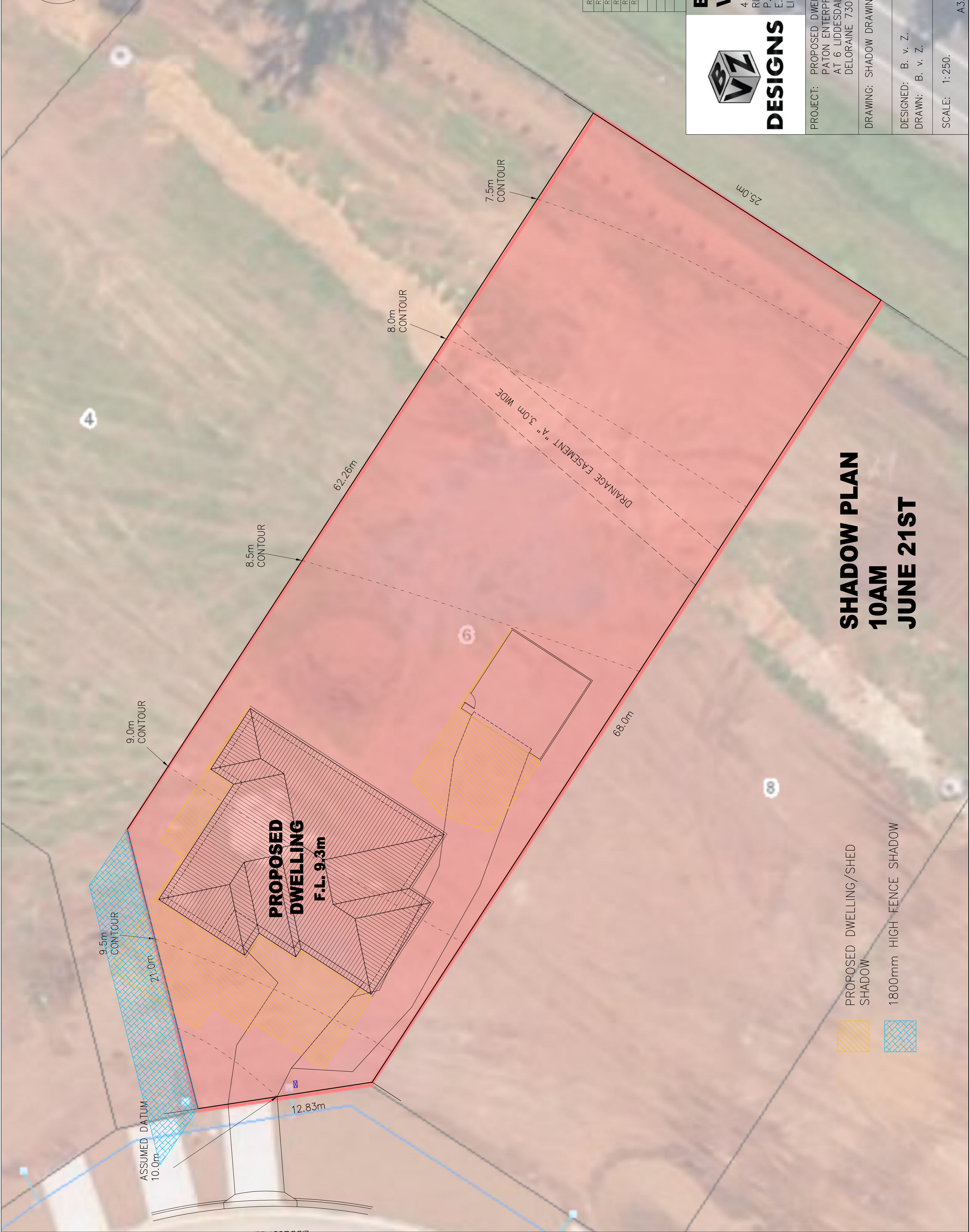
DRAWING: SHADOW DRAWINGS

DESIGNED: B. v. Z.
DRAWN: B. v. Z.


APPROVED: _____
DATE: 15 / 07 / 24

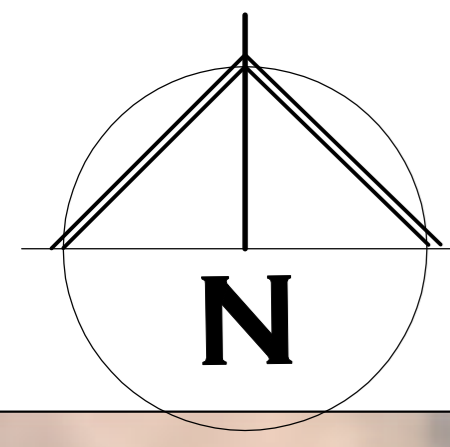
SCALE: 1:250.

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**SHADOW PLAN
10AM
JUNE 21ST**

-  PROPOSED DWELLING/SHED SHADOW
-  1800mm HIGH FENCE SHADOW



REVISION NUMBER	DATE
REVISION 1	10 / 06 / 2024
REVISION 2	23 / 06 / 2024
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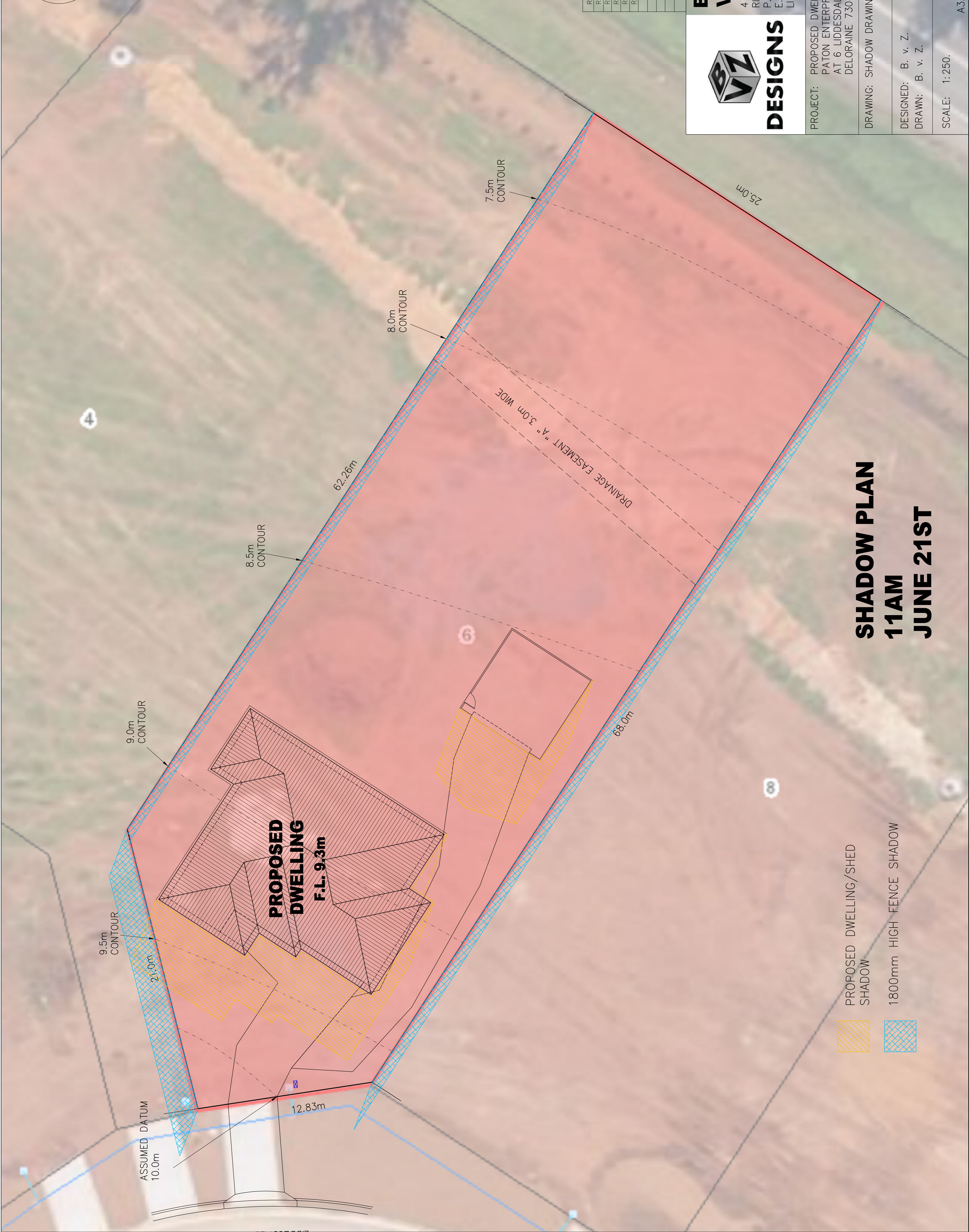


DESIGNS


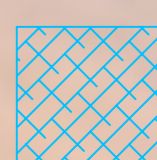
BRADLEY VAN ZETTEN

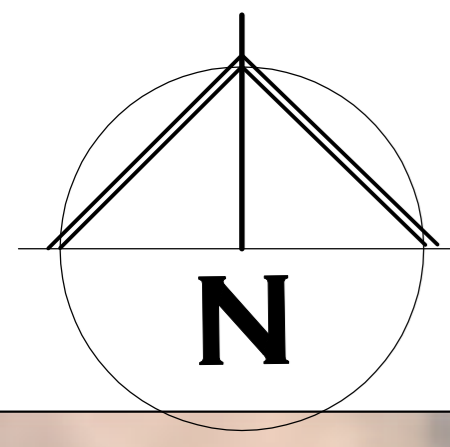
4 EDEN HILLS DRIVE
RIVERSIDE 7250
P: 0407 272 381
E: BVZDESIGNS@GMAIL.COM
LICENCE NUMBER 957699796

PROJECT:	PROPOSED DWELLING FOR PATON ENTERPRISES PTY LTD AT 6 LIDDESDALE DRIVE DELORAIN 7304
DRAWING:	SHADOW DRAWINGS
DESIGNED:	B. v. Z.
DRAWN:	B. v. Z.
APPROVED:	
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SCALE:	1:250.
DRAWING No.:	PAT0724 - 3C/10




SHADOW PLAN
11AM
JUNE 21ST

-  PROPOSED DWELLING/SHED SHADOW
-  1800mm HIGH FENCE SHADOW



REVISION NUMBER	DATE
REVISION 1	10 / 06 / 2024
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LICENCE NUMBER 957699796

PROJECT: PROPOSED DWELLING FOR
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AT 6 LIDDESDALE DRIVE
DELORAINE 7304

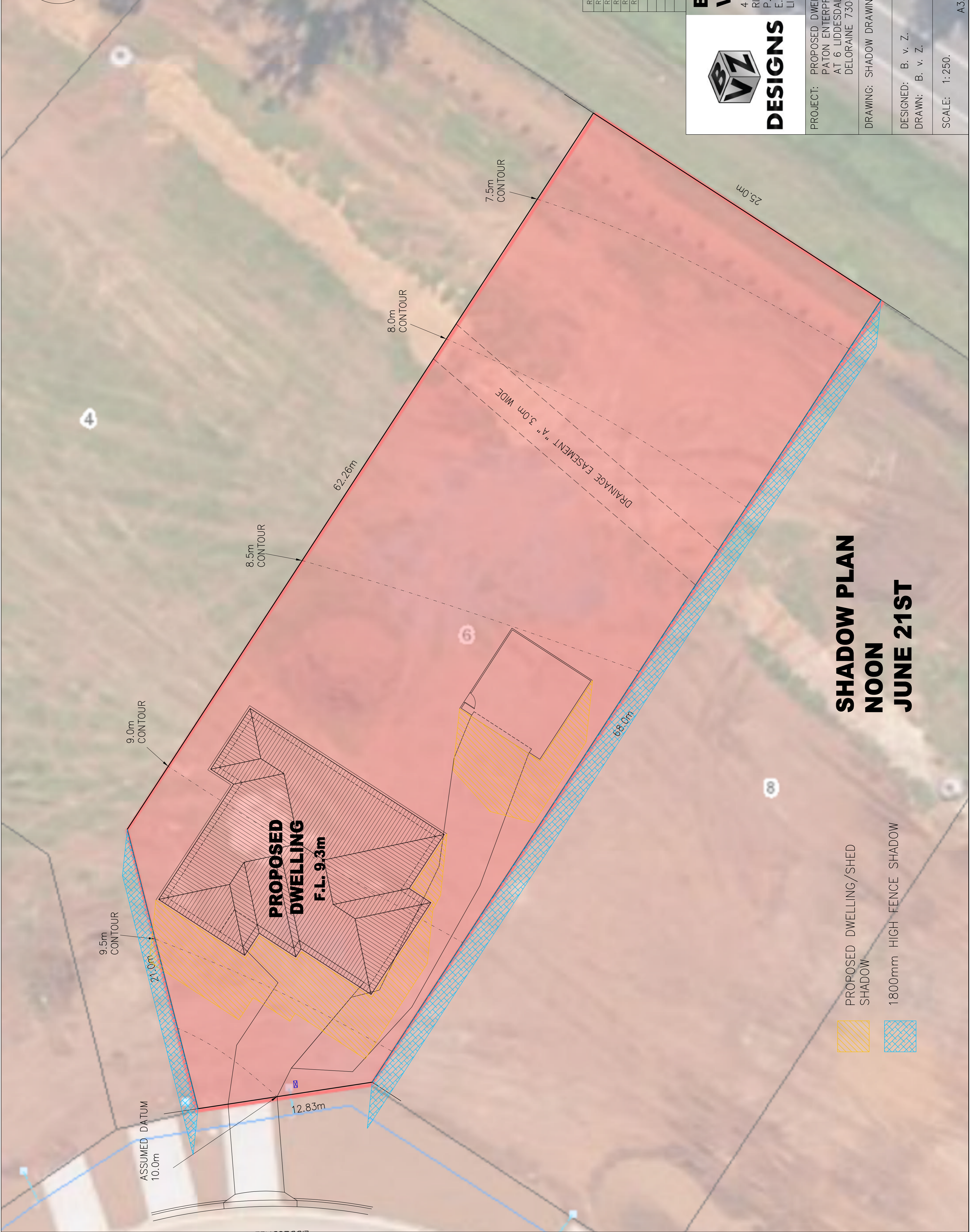
DRAWING: SHADOW DRAWINGS

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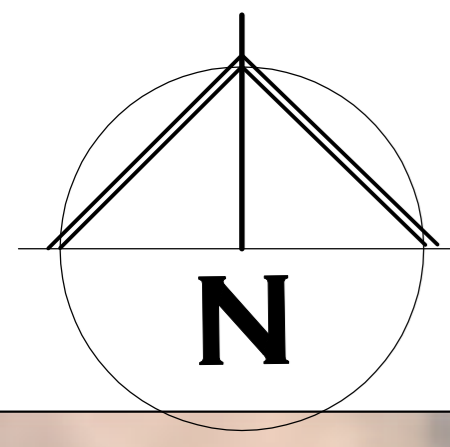
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A3




**SHADOW PLAN
NOON
JUNE 21ST**

-  PROPOSED DWELLING/SHED SHADOW
-  1800mm HIGH FENCE SHADOW



REVISION NUMBER	DATE
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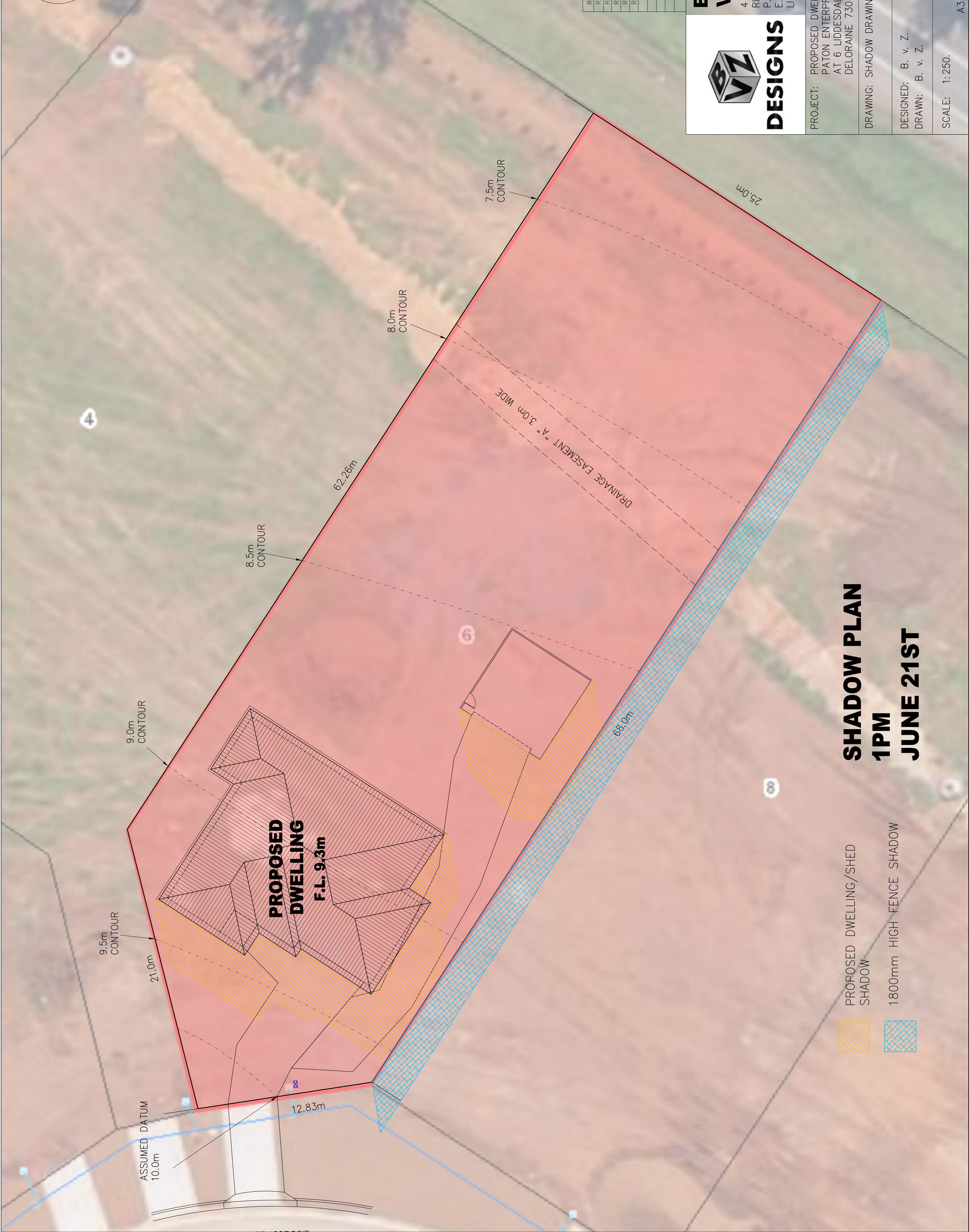


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DRAWING:	SHADOW DRAWINGS
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DATE:	15 / 07 / 24
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DRAWING No.:	PAT0724 - 3E/10



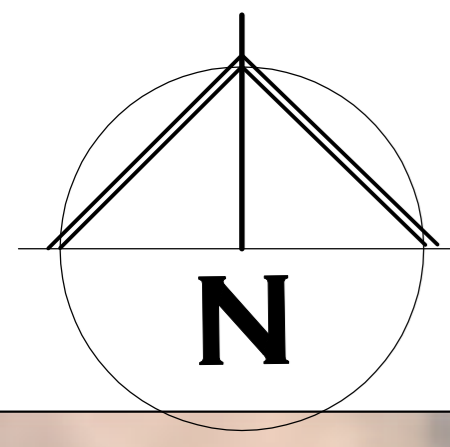
SHADOW PLAN
1PM
JUNE 21ST



PROPOSED DWELLING/SHED
SHADOW



1800mm HIGH FENCE SHADOW

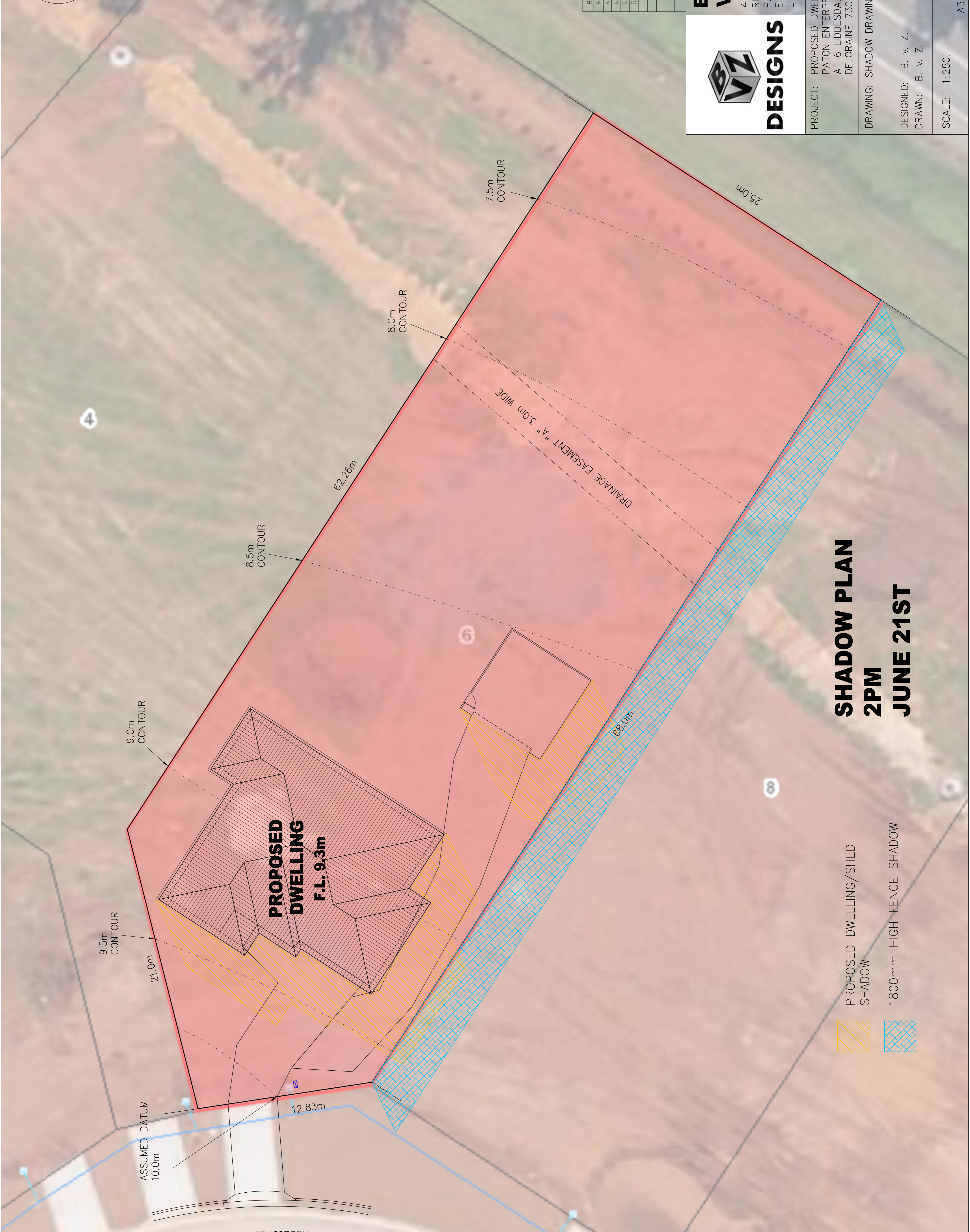


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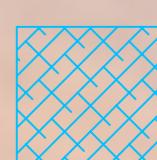
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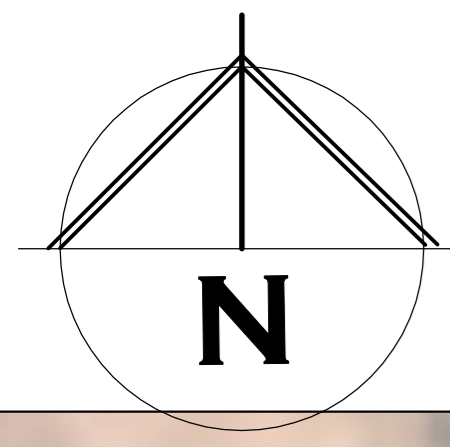


PROJECT: PROPOSED DWELLING FOR PATON ENTERPRISES PTY LTD AT 6 LIDDESDALE DRIVE DELORAIN 7304	DRAWING: SHADOW DRAWINGS
DESIGNED: B. v. Z. DRAWN: B. v. Z.	APPROVED: DATE: 15 / 07 / 24
SCALE: 1:250.	DRAWING No.: PAT0724 - 3F/10




SHADOW PLAN
2PM
JUNE 21ST

-  PROPOSED DWELLING/SHED SHADOW
-  1800mm HIGH FENCE SHADOW



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LICENCE NUMBER 957699796

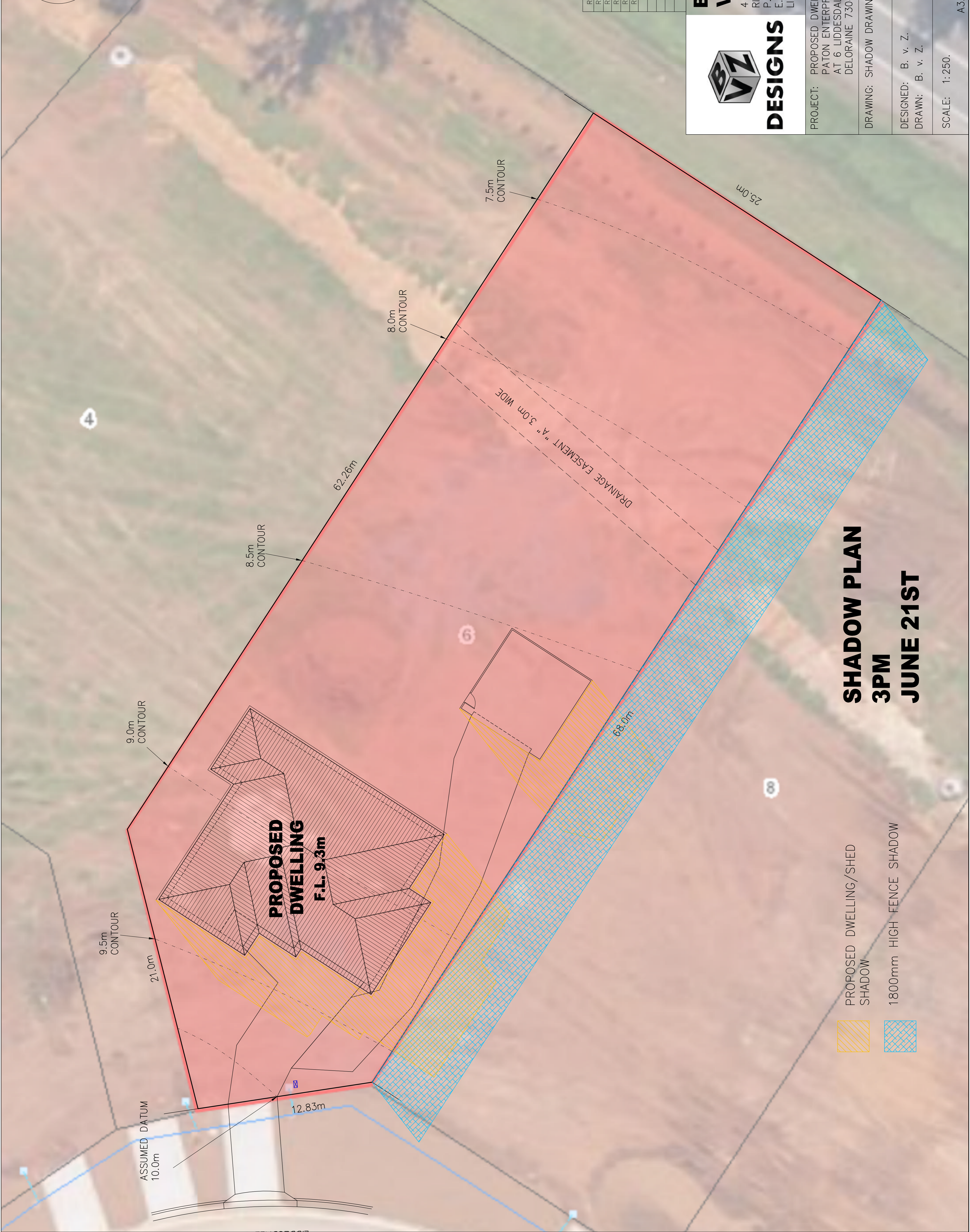
PROJECT: PROPOSED DWELLING FOR
PATON ENTERPRISES PTY LTD
AT 6 LIDDESDALE DRIVE
DELORAINE 7304

DRAWING: SHADOW DRAWINGS


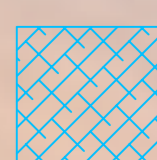
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A3



**SHADOW PLAN
3PM
JUNE 21ST**

-  PROPOSED DWELLING/SHED SHADOW
-  1800mm HIGH FENCE SHADOW

THIS PAGE FEATURES COLORED LINES AND SHOULD ONLY BE PRINTED IN COLOR. GREEN TEXT IN THE NOTE SECTION SERVES AS A REFERENCE

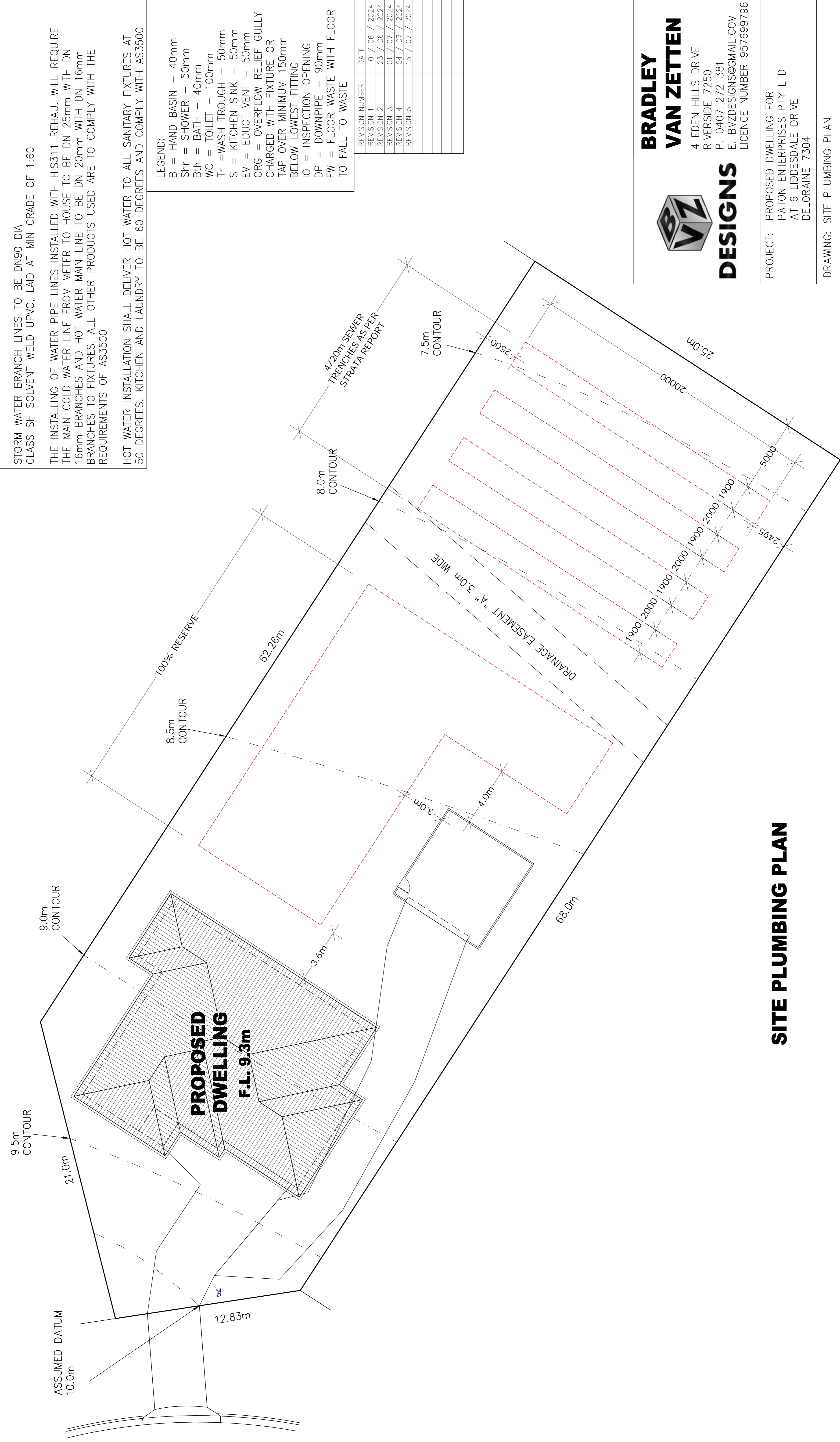
ALL DRAINAGE WORK TO COMPLY WITH AS3500, TASMANIAN PLUMBING CODE AND LOCAL COUNCIL REQUIREMENTS. LOCATION AND DEPTH OF EXISTING SERVICES TO BE CONFIRMED ONSITE

SEWER BRANCH LINES AND PIPEWORK TO FLOOR LEVEL TO BE DN100 DIA. CLASS SH SOLVENT WELD UPVC, LAID AT MIN GRADE OF 1:60 (1.65%). WATER CLOSET LINE DN100 DIA. CLASS SH SOLVENT WELD UPVC, MIN GRADE 1:60.

STORM WATER BRANCH LINES TO BE DN90 DIA CLASS SH SOLVENT WELD UPVC, LAID AT MIN GRADE OF 1:60

THE INSTALLING OF WATER PIPE LINES INSTALLED WITH HIS311 REHAU. WILL REQUIRE THE MAIN COLD WATER LINE FROM METER TO HOUSE TO BE DN 25mm WITH DN 16mm BRANCHES AND HOT WATER MAIN LINE TO BE DN 20mm WITH DN 16mm BRANCHES TO FIXTURES. ALL OTHER PRODUCTS USED ARE TO COMPLY WITH THE REQUIREMENTS OF AS3500


HOT WATER INSTALLATION SHALL DELIVER HOT WATER TO ALL SANITARY FIXTURES AT 50 DEGREES. KITCHEN AND LAUNDRY TO BE 60 DEGREES AND COMPLY WITH AS3500



LEGEND:

B	=	HAND BASIN	-	40mm
Shr	=	SHOWER	-	50mm
Bth	=	BATH	-	40mm
WC	=	TOILET	-	100mm
Tr	=	WASH TROUGH	-	50mm
S	=	KITCHEN SINK	-	50mm
EV	=	EDUCT VENT	-	50mm
ORG	=	OVERFLOW RELIEF GULLY CHARGED WITH FIXTURE OR TAP OVER MINIMUM 150mm BELOW LOWEST FITTING		
IO	=	INSPECTION OPENING		
DP	=	DOWNPIPE	-	90mm
FW	=	FLOOR WASTE WITH FLOOR TO FALL TO WASTE		

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PROJECT: PROPOSED DWELLING FOR PATON ENTERPRISES PTY LTD
AT 6 LIDDESDALE DRIVE
DELORAIN 7304

DRAWING: SITE PLUMBING PLAN

DESIGNED: B. v. Z.	APPROVED:
DRAWN: B. v. Z.	DATE: 15 / 07 / 24
SCALE: 1:200.	DRAWING No.: PAT0724 - 4/10

SITE PLUMBING PLAN

THIS PAGE FEATURES COLORED LINES AND SHOULD ONLY BE PRINTED IN COLOR. GREEN TEXT IN THE NOTE SECTION SERVES AS A REFERENCE

BUILDING SITE DURING CONSTRUCTION TO COMPLY WITH EPA TASMANIA, SOIL AND WATER MANAGEMENT ON BUILDING SITES WHERE POSSIBLE. REFER TO FACT SHEETS 1-19
EPA.TAS.GOV.AU/ENVIRONMENT/WATER/STORMWATER/SOIL-AND-WATER-MANAGEMENT-ON-BUILDING-SITES

FACT SHEET 3 - SOIL AND WATER MANAGEMENT PLAN TO BE KEPT ON SITE AND ALL TIMES AND ALL WORKERS UNDERSTAND THE SWMP

FACT SHEET 4 - DISPERSIVE SOILS, NOT APPLICABLE.

FACT SHEET 5 - MINIMISE SOIL DISTURBANCE. DO TRACK MACHINERY UP AND DOWN THE SLOPE TO CREATE GROOVES FROM THE WHEELS/ OR TRACKS THAT WILL CATCH RAINFALL. THE GROOVES WILL ROUGHEN THE SURFACE IN A WAY THAT WILL SLOW RUNOFF. AS PER FACT SHEET CLEARING FOR WORKS TO BE LIMITED TO WITHIN 5 METRES FROM THE EDGE OF ANY ESSENTIAL CONSTRUCTION ACTIVITY. NO TOPSOIL SHALL BE REMOVED FROM LAND OUTSIDE THE AREAS OF GROUND DISTURBANCE SHOWN. ALL AREAS OF GROUND DISTURBANCE MUST BE DRESSED WITH TOP SOIL AND WHERE APPROPRIATE REVEGETATED AND STABILISED TO PREVENT FUTURE EROSION OR SILTATION.

FACT SHEET 6 - PRESERVE VEGETATION WHERE EXISTING TREES ARE TO REMAIN ON THE SITE, ESTABLISH NO GO AREA AROUND TREES OF BRIGHT TAPE ON STAR PICKETS MINIMUM 1m AWAY FROM BASE OF TREE EXISTING GROUND VEGETATION TO BE RETAINED WHEN EVER POSSIBLE. MINIMUM 400mm WIDE GRASS STRIPS TO BE RETAINED ON BACK OF KERB FOR FILTERING RUNOFF. INSTALLED AS PER FACT SHEET

FACT SHEET 7 - DIVERT UP-SLOPE WATER DIVERSION CHANNEL TO BE CONSTRUCTED ON HIGHSIDE OF SITE MINIMUM 150MM DEEP WITH 10% MAX FALL WITH A CURVED SHAPE WITH EXCAVATED SOIL FROM THE CHANNEL ON THE DOWN-SLOPE SIDE TO INCREASE DIVERSION CHANNEL CAPACITY. LEVEL SPREADER TO END OF DIVERSION CHANNEL TO ENSURE WATER DISCHARGE IS SLOW MOVING MINIMUM 4M WIDE. INSTALLED AS PER FACT SHEET

FACT SHEET 8 - EROSION CONTROL MATS AND BLANKETS WHERE FINISHED BATTERS ARE PROPOSED TO BE STEEPER THAN 1:3 EROSION CONTROL BLANKETS TO BE INSTALLED ON BATTER FOR SITE REHABILITATION. INSTALLED AS PER FACT SHEET

FACT SHEET 9 - PROTECT SERVICES TRENCHES AND STOCKPILES ALL STOCKPILES TO BE POSITIONED CLEAR OF WATER COURSES AND TO ENSURE THAT NO SILT RUNOFF CAN ENTER A WATER COURSE.

TOP SOIL TO BE STOCKPILED SEPARATELY AND SPREAD OVER BACKFILLED AREAS. SPOIL TO BE STOCKPILED IN A NARROW CORRIDOR ON THE UPSTREAM SIDE OF ALL EXCAVATION. TEMPORARY CATCH DRAINS TO BE CONSTRUCTED ON THE UPSTREAM SIDE OF STOCKPILES, AND EXCAVATED AREAS, DIRECTING RUNOFF TO EXISTING STORMWATER SYSTEM.

SERVICE TRENCHES TO HAVE SOIL PLACED ON TOPSIDE OF TRENCH TO DIVERT WATER FLOW AWAY FROM THE TRENCH LINE.

FACT SHEET 10 - EARLY ROOF DRAINAGE CONNECTION DOWNPIPES TO BE CONNECTED INTO STORMWATER SYSTEM AS SOON AS THE ROOF IS INSTALLED.

TEMPORARY DOWNPIPES TO DIRECT WATER TO TUFTED AREAS.

FACT SHEET 11 - SCOUR PROTECTION NOT APPLICABLE AS NO NEW DAMS/ CULVERTS

FACT SHEET 12 - STABILISED SITE ACCESS DIVERSION HUMP INSTALLED ON ROAD ACCESS WITH WATER DIRECTED TO SEPARATE SILT FENCE.

FACT SHEET 13 - WHEEL CONTOUR EVERY EFFORT TO BE MADE TO MINIMISE SPREADING SEDIMENT ON TO SEALED AREAS WHEN VEHICLES LEAVE THE SITE, INCLUDING THE WASHING DOWN OF TYRES.

FACT SHEET 14 - SEDIMENT FENCES SEDIMENT FENCE INSTALLED AS PER DETAIL AND FACT SHEET


FACT SHEET 15 - PROTECTION OF STORMWATER PITS PITS INSTALLED ON SITE TO BE CONSTRUCTED WITH DRIVEWAY AT END OF JOB AFTER FINISHED CONSTRUCTION OF BUILDING. THEREFORE NO REQUIREMENTS FOR PITS.

FACT SHEET 16 - PROTECTED CONCRETE, BRICK AND TILE CUTTING ALL CUTTING TO BE INSIDE NOMINATED AREA AS PER SWMP WITH FILTER SOCKS INSTALLED ON LOW SIDE. SLURRY TO BE DISPOSED OFF IN GEOTEXTILE LINED DITCH OR DRUMS

FACT SHEET 17 - SEDIMENT BASINS NOT REQUIRED DUE TO SCALE OF WORKS.

FACT SHEET 18 - DUST CONTROL DURING EXTENDED PERIODS OF DRY WEATHER, DAMPEN THE SITE SLIGHTLY WITH A LIGHT APPLICATION OF WATER DURING EXCAVATION OR WHEN DUST IS BEING RAISED

FACT SHEET 19 - SITE REVEGETATION ALL OF SITE THAT IS NOT FINISHED IN HARD SURFACES TO BE REVEGETATION WITH GRASS OR MULCH AS PER LANDSCAPING PLAN OR TO OWNERS DETAILS



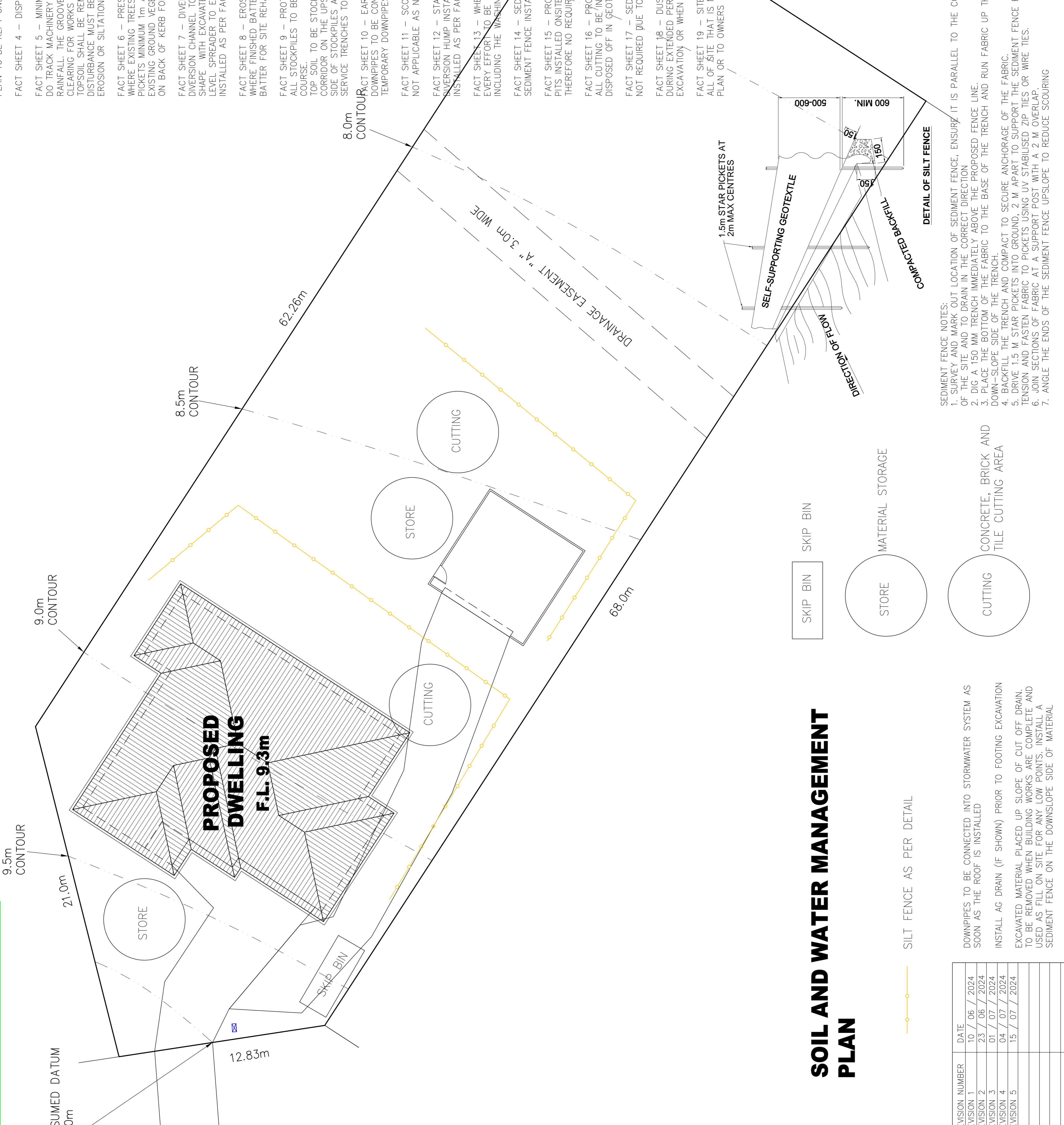
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4 EDEN HILLS DRIVE
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P. 0407 272 381
E. BVZDESIGNS@GMAIL.COM
LICENCE NUMBER 957699796

PROJECT: PROPOSED DWELLING FOR PATON ENTERPRISES PTY LTD
AT 6 LIDDESDALE DRIVE
DELORAINÉ 7304

DRAWING: SOIL AND WATER MANAGEMENT PLAN

DESIGNED: B. v. Z. APPROVED:
DRAWN: B. v. Z. DATE: 15 / 07 / 24

SCALE: 1:250. DRAWING No.: PAT0724 - 5/10



- SEDIMENT FENCE NOTES:
1. SURVEY AND MARK OUT LOCATION OF SEDIMENT FENCE, ENSURE IT IS PARALLEL TO THE CONTOURS OF THE SITE AND TO DRAIN IN THE CORRECT DIRECTION
 2. DIG A 150 MM TRENCH IMMEDIATELY ABOVE THE PROPOSED FENCE LINE.
 3. PLACE THE BOTTOM OF THE FABRIC TO THE BASE OF THE TRENCH AND RUN FABRIC UP THE DOWN-SLOPE SIDE OF THE TRENCH.
 4. BACKFILL THE TRENCH AND COMPACT TO SECURE ANCHORAGE OF THE FABRIC.
 5. DRIVE 1.5 M STAR PICKETS INTO GROUND, 2 M APART TO SUPPORT THE SEDIMENT FENCE FABRIC. TENSION AND FASTEN FABRIC TO PICKETS USING UV STABILISED ZIP TIES OR WIRE TIES.
 6. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 2 M OVERLAP.
 7. ANGLE THE ENDS OF THE SEDIMENT FENCE UPSLOPE TO REDUCE SCOURING

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DOWNPIPES TO BE CONNECTED INTO STORMWATER SYSTEM AS SOON AS THE ROOF IS INSTALLED

INSTALL AG DRAIN (IF SHOWN) PRIOR TO FOOTING EXCAVATION

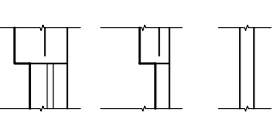
EXCAVATED MATERIAL PLACED UP SLOPE OF CUT OFF DRAIN. TO BE REMOVED WHEN BUILDING WORKS ARE COMPLETE AND USED AS FILL ON SITE FOR ANY LOW POINTS. INSTALL A SEDIMENT FENCE ON THE DOWNSLOPE SIDE OF MATERIAL

SOIL AND WATER MANAGEMENT PLAN

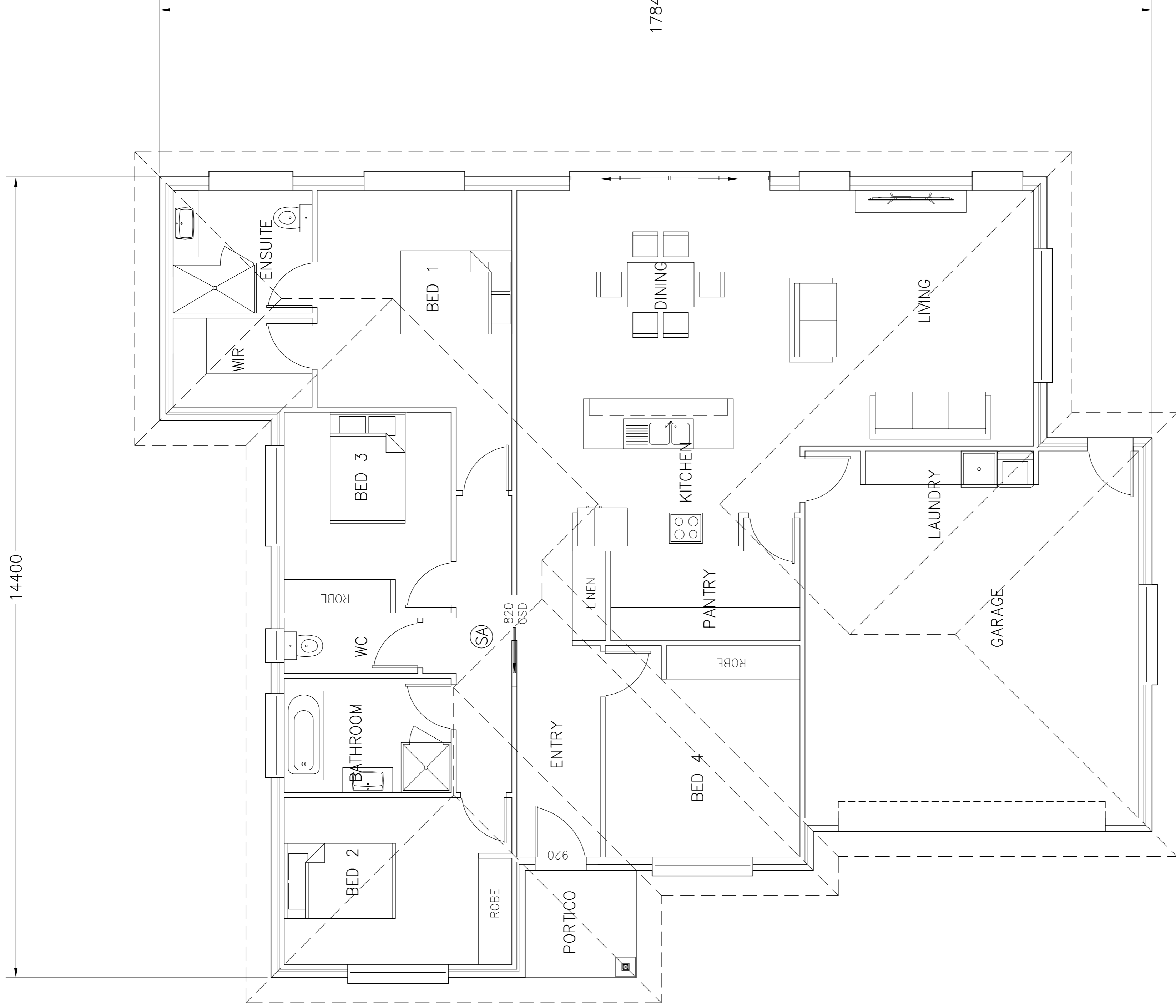
BRICK VENEER WALL

90mm TIMBER FRAMED WALL WITH CEMENT SHEET CLADDING

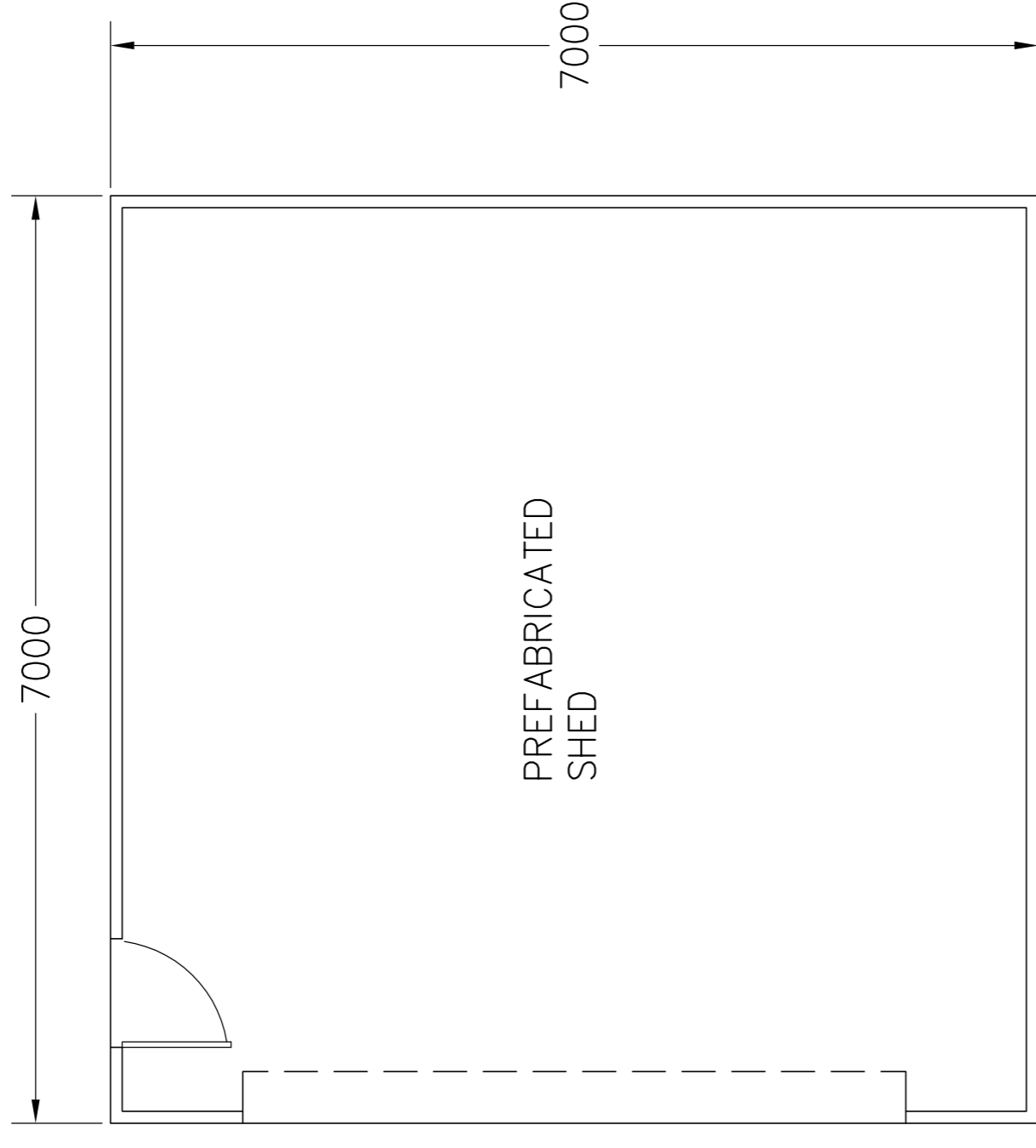
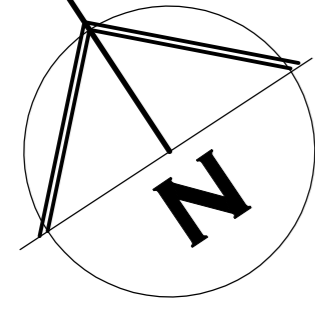
90mm STUD WALL WITH 10mm PLASTER BOARD LINING THROUGHOUT. (WET AREA PLASTERBOARD TO WET AREA WALLS)



14400



17840



PREFABRICATED SHED

7000

7000

STAGE 2 FLOOR PLAN

SHED CONSTRUCTION DETAILS TO BE PROVIDED BY OTHERS AT BUILDING APPLICATION

(SA) - 240V HARD WIRED SMOKE ALARMS INSTALLED IN ACCORDANCE WITH NCC9.5 TO COMPLY WITH AS3786, BE CONNECTED TO MAINS POWER AND INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM



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DELORAIN 7304

DRAWING: FLOOR PLAN

DESIGNED: B. v. Z.
DRAWN: B. v. Z.

APPROVED:
DATE: 15 / 07 / 24

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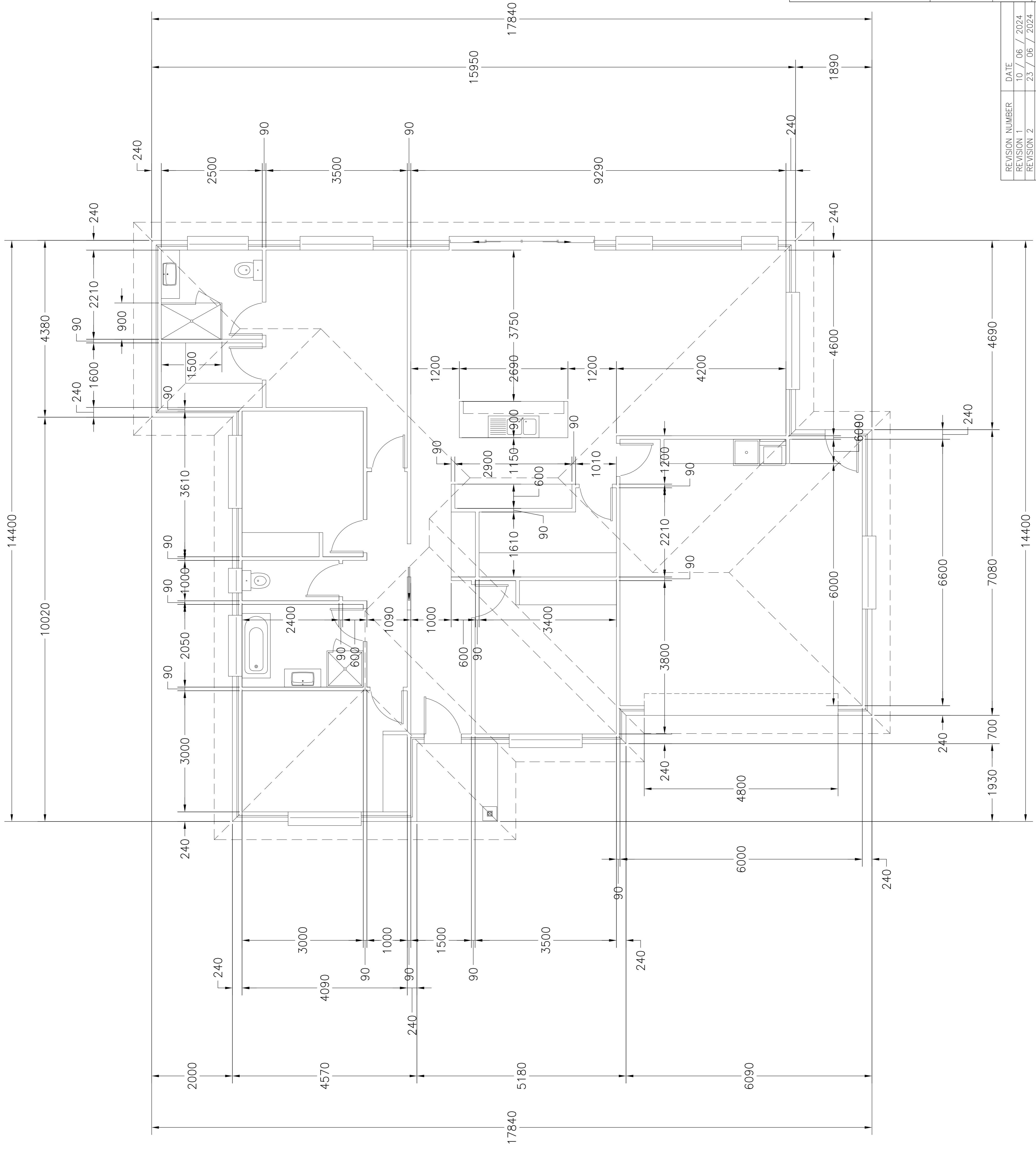
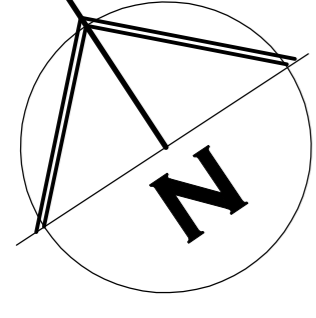
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FLOOR PLAN

BRICK VENEER - DIMENSIONS AND AREA TO OUTSIDE CLADDING
CLAD FRAME - DIMENSIONS AND AREA TO OUTSIDE OF TIMBER FRAMING. CLADDING IN ADDITION TO DIMENSIONS
ALL INTERNAL DOORS ARE 820mm UNLESS OTHERWISE NOTED

AREA TABLE		
SQUARE METER	BUILDING SQUARES	
FLOOR AREA	201.9	21.7
PORTICO AREA	3.9	0.4
TOTAL AREA	205.8	22.2



FLOOR PLAN WITH DIMENSIONS



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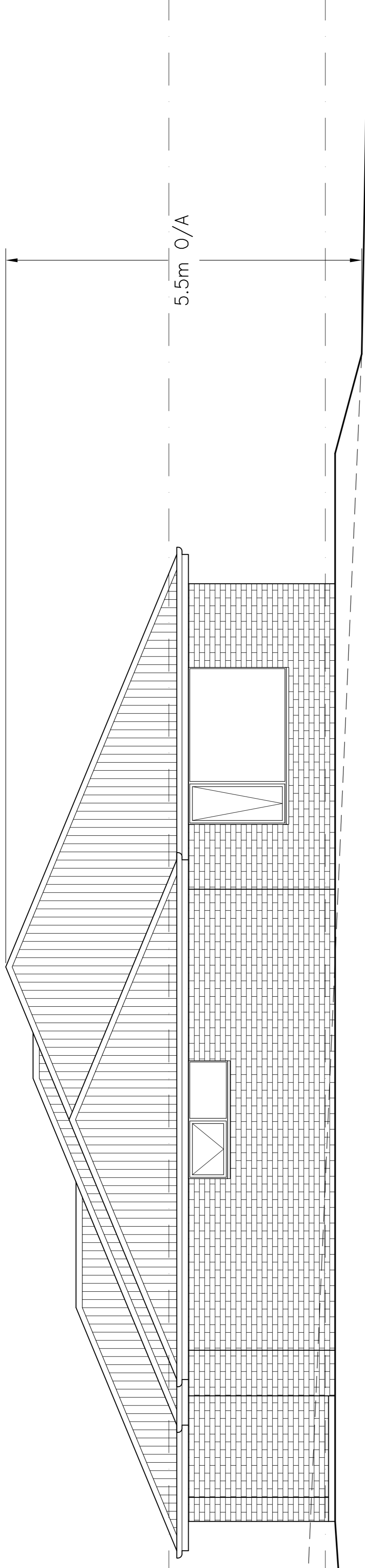
DRAWING: FLOOR PLAN WITH DIMENSIONS

DESIGNED: B. v. Z.
DRAWN: B. v. Z.

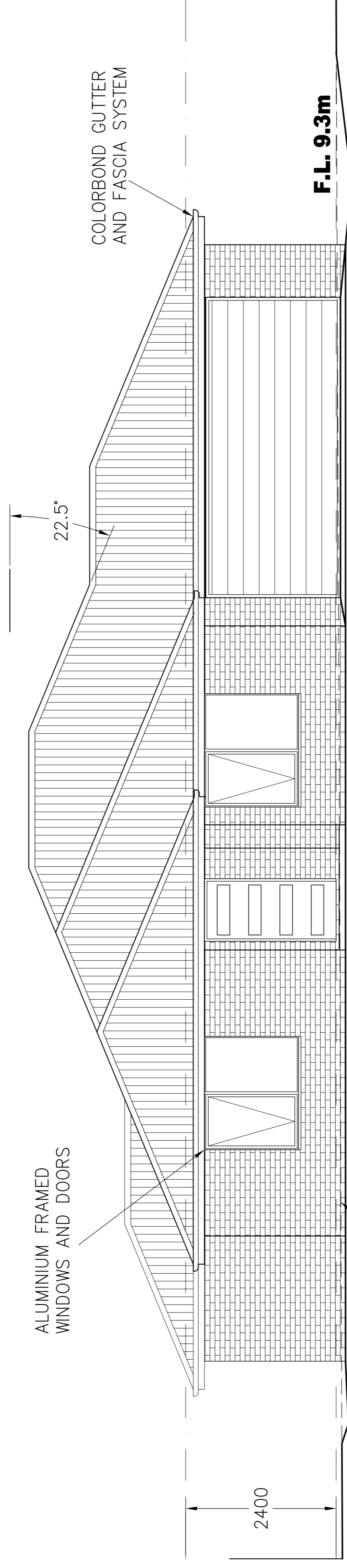
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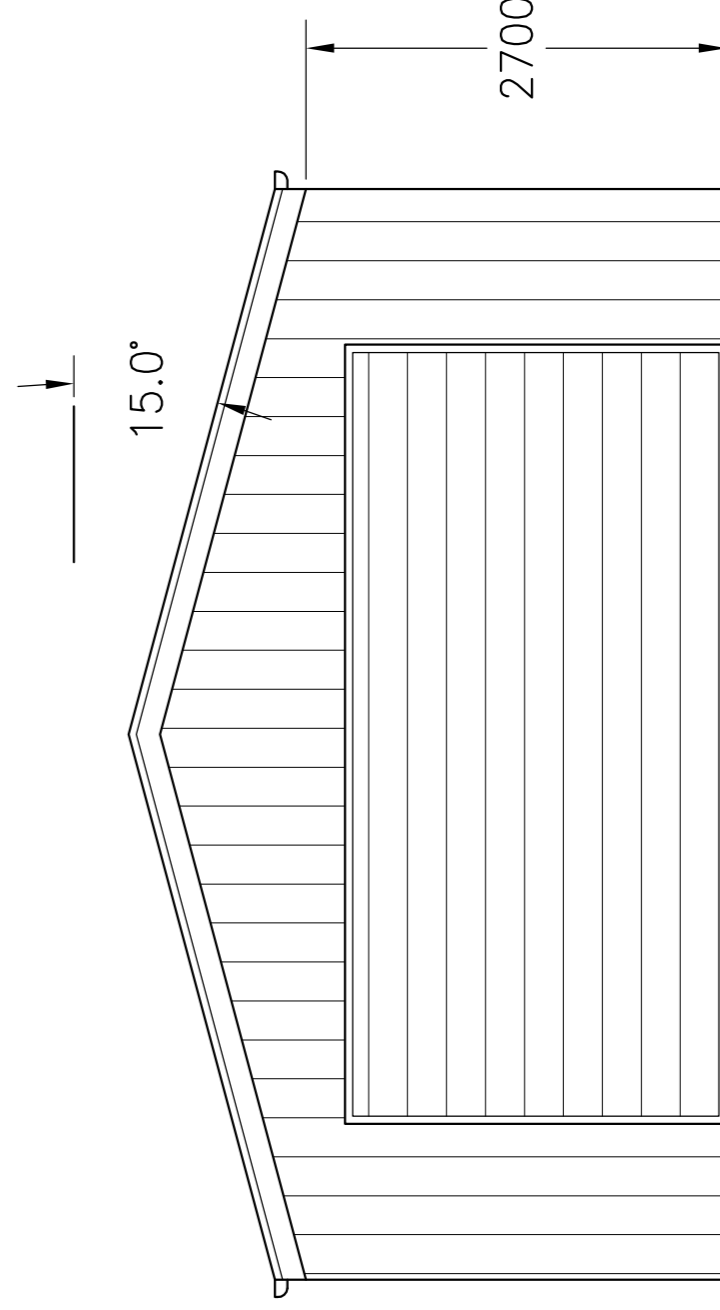
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SOUTH EAST ELEVATION



SOUTH WEST ELEVATION



SOUTH WEST ELEVATION



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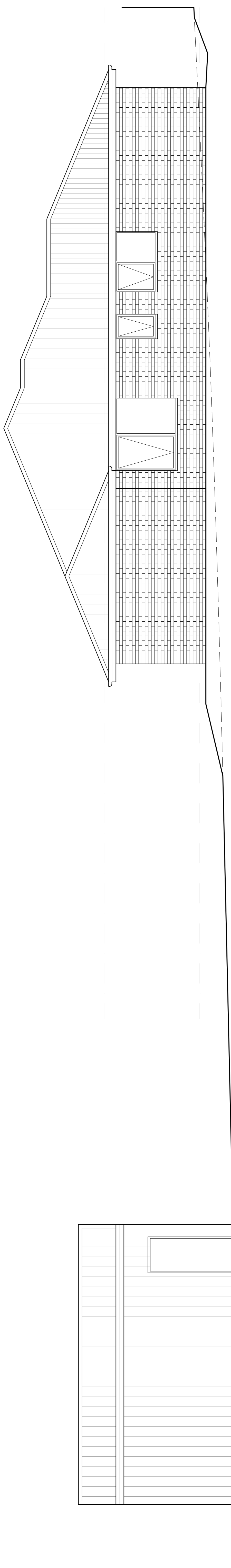
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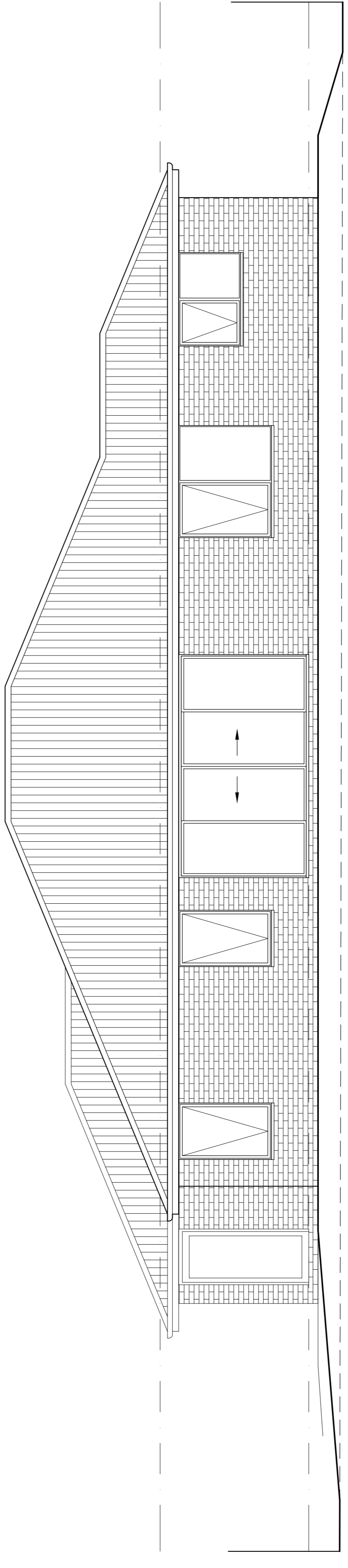
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REVISION 5	15 / 07 / 2024

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NORTH WEST ELEVATION



NORTH EAST ELEVATION



DESIGNS

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PROJECT: PROPOSED DWELLING FOR
PATON ENTERPRISES PTY LTD
AT 6 LIDDESDALE DRIVE
DELORAIN 7304

DRAWING: ELEVATIONS

DESIGNED: B. v. Z.
DRAWN: B. v. Z.

APPROVED: _____
DATE: 15 / 07 / 24

SCALE: 1:100.
DRAWING No.: PAT0724 - 9/10
A3.

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ROOF CLADDING TO COMPLY WITH NCC PART 7.1-7.5

GUTTERS AND DOWNPIPES INSTALLED AS PER NCC PART 7.4
GUTTER MUST BE INSTALLED WITH A FALL NOT LESS THAN
• 1:500 FOR EAVES GUTTERS, UNLESS FIXED TO METAL
FASCIAS

WHERE HIGH FRONTED GUTTERS ARE INSTALLED, PROVISION
MUST BE MADE TO AVOID ANY OVERFLOW BACK INTO THE ROOF
OR BUILDING STRUCTURE BY INCORPORATING OVERFLOW
MEASURERS OR THE LIKE

DOWNPIPES MUST--

(A) NOT SERVE MORE THAN 12 M OF GUTTER LENGTH FOR EACH
DOWNPIPE; AND

(B) BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS;
AND

(C) BE SELECTED IN ACCORDANCE WITH THE APPROPRIATE EAVES
GUTTER SECTION AS SHOWN IN TABLE 7.4.3A, TABLE 7.4.3B
AND TABLE 7.4.3C.

FOR ROOF CATCHMENTS UP TO 50SQ/M PER DOWNPIPE MEDIUM
RECTANGULAR GUTTERS OR 115MM 'D' GUTTERS MAY BE USED
WITH 90MM DOWNPIPES

EAVE AND GUTTER OVERFLOW MEASURE TO BE INSTALLED FOR
1% ANNUAL EXCEEDANCE PROBABILITY

BOX GUTTERS AS PER AS3500.3

7.4.6 ACCEPTABLE CONTINUOUS OVERFLOW MEASURE

(1) FOR A FRONT FACE SLOTTED GUTTER WITH--
A MINIMUM SLOT OPENING AREA OF 1200 MM2 (A) PER METRE OF
GUTTER; AND

(a) THE LOWER EDGE OF THE SLOTS INSTALLED A MINIMUM OF 25
MM BELOW THE TOP OF THE FASCIA,
THE ACCEPTABLE OVERFLOW CAPACITY MUST BE 0.5 L/S/M,
CONSTRUCTED IN ACCORDANCE WITH FIGURE 7.4.6A.

(2) FOR A CONTROLLED BACK GAP WITH--

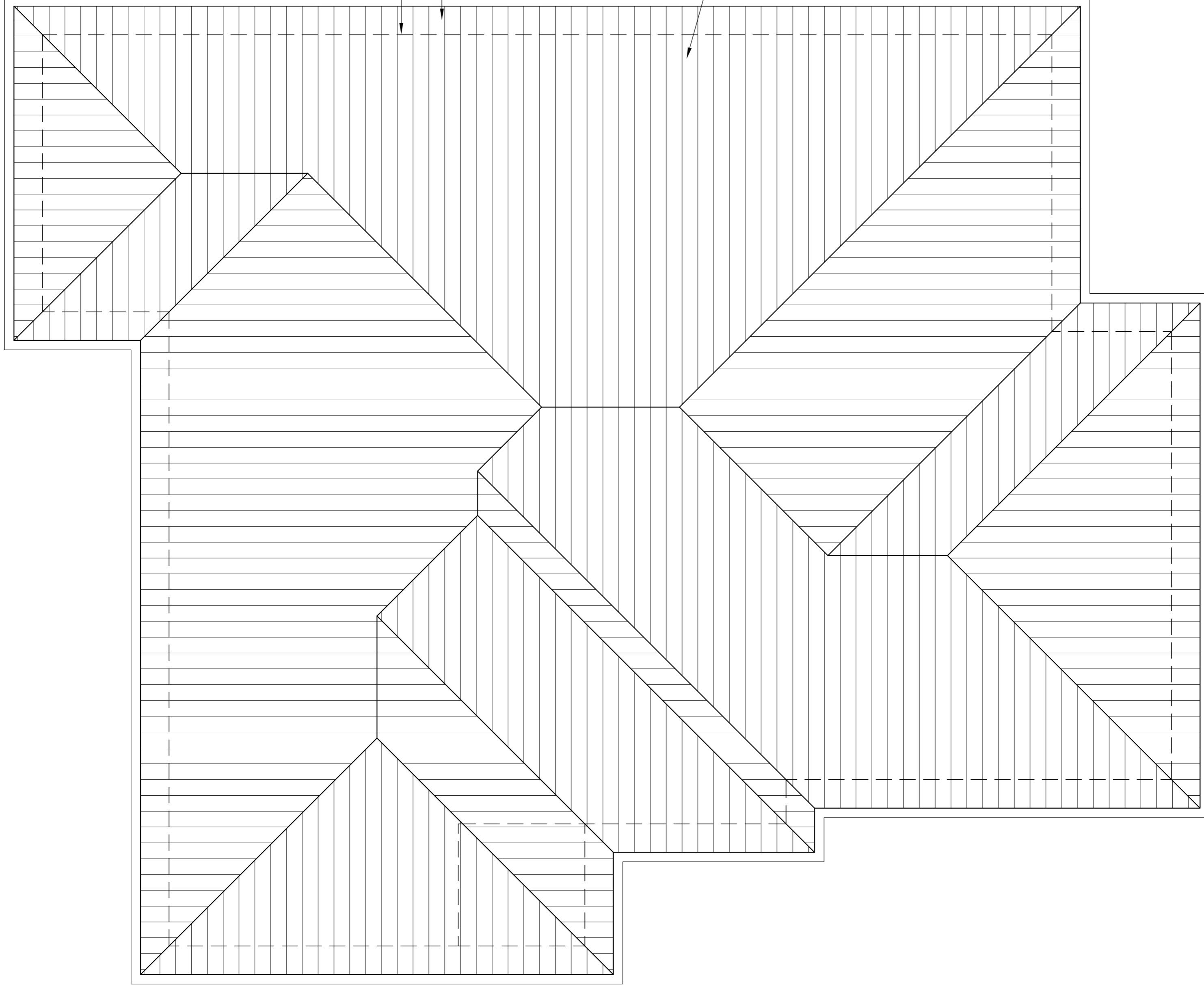
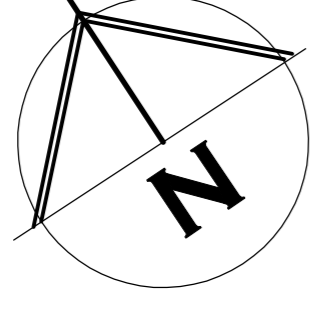
(a) A PERMANENT MINIMUM 10 MM SPACER INSTALLED BETWEEN THE
GUTTER BACK AND THE FASCIA; AND
(b) ONE SPACER PER BRACKET, WITH THE SPACER NOT MORE THAN
50 MM WIDE; AND

(c) THE BACK OF THE GUTTER INSTALLED A MINIMUM OF 10 MM
BELOW THE TOP OF THE FASCIA,

THE ACCEPTABLE OVERFLOW CAPACITY MUST BE 1.5 L/S/M,
CONSTRUCTED IN ACCORDANCE WITH FIGURE 7.4.6B.

(3) FOR THE CONTROLLED BACK GAP OPTION, THE SPACER CAN BE
A PROPRIETARY CLIP OR BRACKET THAT PROVIDES THE REQUIRED
OFFSET OF

THE GUTTER FROM THE FASCIA.



EXTERNAL WALLS DASHED

450mm EAVE (TYPICAL)

COLORBOND GUTTER AND
FASCIA SYSTEM

COLORBOND CUSTOM ORB ROOF SHEETING
AT 22.5° ONE AND A HALF CORRUGATION
SIDE LAP (TYPICAL). FIXED AT SIDE LAPS.
3 FIXINGS FOR INTERNAL SPANS AND
5 FOR END SPANS. FIXED WITH ROOFZIPS
M6-11x50mm FOR SOFTWOOD AND STEEL
0.55-1.0mm BMT BATTENS
12-14x35 METAL TEK 1.0-3.0mm BMT
STEEL BATTENS
12-11x50mm FOR HARDWOOD

ROOF PLAN

SHEET ROOF
75x38mm HARD WOOD OR 70x35mm MGP12
BATTENS AT 900mm MAX 900mm CRS AND SPAN.

RANGEHOOD AND BATHROOM EXTRACTION FANS
DUCTED TO EAVE/WALL VENT



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