



Meander Valley Council
Working Together

PLANNING NOTICE

An application has been received for a Permit under s.57 of the Land Use Planning Approvals Act 1993:

APPLICANT:	Wilson Homes - PA\24\0238
PROPERTY ADDRESS:	32 Liddesdale Drive DELORAINE (CT: 185043/19)
DEVELOPMENT:	Single dwelling - road attenuation.

The application can be inspected until **Monday, 15 July 2024**, at www.meander.tas.gov.au or at the Council Office, 26 Lyall Street, Westbury (during normal office hours).

Written representations may be made during this time addressed to the General Manager, PO Box 102, Westbury 7303, or by email to planning@mvc.tas.gov.au. Please include a contact phone number. Please note any representations lodged will be available for public viewing.

If you have any questions about this application please do not hesitate to contact Council's Planning Department on 6393 5320.

Dated at Westbury on 29 June 2024.

Jonathan Harmey
GENERAL MANAGER

APPLICATION FORM

PLANNING PERMIT

Land Use Planning and Approvals Act 1993



- Application form & details **MUST** be completed **IN FULL**.
- Incomplete forms will not be accepted and may delay processing and issue of any Permits.

OFFICE USE ONLY

Property No:	<input type="text"/>	Assessment No:	<input type="text"/>	-	<input type="text"/>	-	<input type="text"/>
DA\	<input type="text"/>	PA\	<input type="text"/>	PC\	<input type="text"/>		

- Is your application the result of an illegal building work? Yes No Indicate by ✓ box
- Have you already received a Planning Review for this proposal? Yes No
- Is a new vehicle access or crossover required? Yes No

PROPERTY DETAILS:

Address:	<input type="text" value="(Lot 19) 32 Liddesdale Drive"/>	Certificate of Title:	<input type="text" value="185043"/>
Suburb:	<input type="text" value="Deloraine"/>	<input type="text" value="7304"/>	Lot No: <input type="text" value="19"/>
Land area:	<input type="text" value="1636.01"/>	<i>m² / ha</i>	
Present use of land/building:	<input type="text" value="Vacan Land"/>	<i>(vacant, residential, rural, industrial, commercial or forestry)</i>	

- Does the application involve Crown Land or Private access via a Crown Access Licence: Yes No
- Heritage Listed Property: Yes No

DETAILS OF USE OR DEVELOPMENT:

- Indicate by ✓ box
- | | | | |
|---|--|--------------------------------------|-------------------------------------|
| <input checked="" type="checkbox"/> Building work | <input type="checkbox"/> Change of use | <input type="checkbox"/> Subdivision | <input type="checkbox"/> Demolition |
| <input type="checkbox"/> Forestry | <input type="checkbox"/> Other | | |

Total cost of development (inclusive of GST): *Includes total cost of building work, landscaping, road works and infrastructure*

Description of work:

Use of building: *(main use of proposed building – dwelling, garage, farm building, factory, office, shop)*

New floor area: m² New building height: m

Materials: External walls: Colour:

Roof cladding: Colour:

SEARCH OF TORRENS TITLE

VOLUME 185043	FOLIO 19
EDITION 2	DATE OF ISSUE 06-Sep-2023

SEARCH DATE : 01-Oct-2023

SEARCH TIME : 12.56 PM

DESCRIPTION OF LAND

Parish of MALLING Land District of DEVON
 Lot 19 on Sealed Plan 185043
 Derivation : Part of Lot 429, 213 Acres Gtd. to J. Duff Mackay
 & William Kenney
 Prior CTs 46419/1 and 46420/2

SCHEDULE 1

N151069 TRANSFER to VICTORIA LOUISE VAN LOON and STEPHEN
 MICHAEL VAN LOON Registered 06-Sep-2023 at noon

SCHEDULE 2

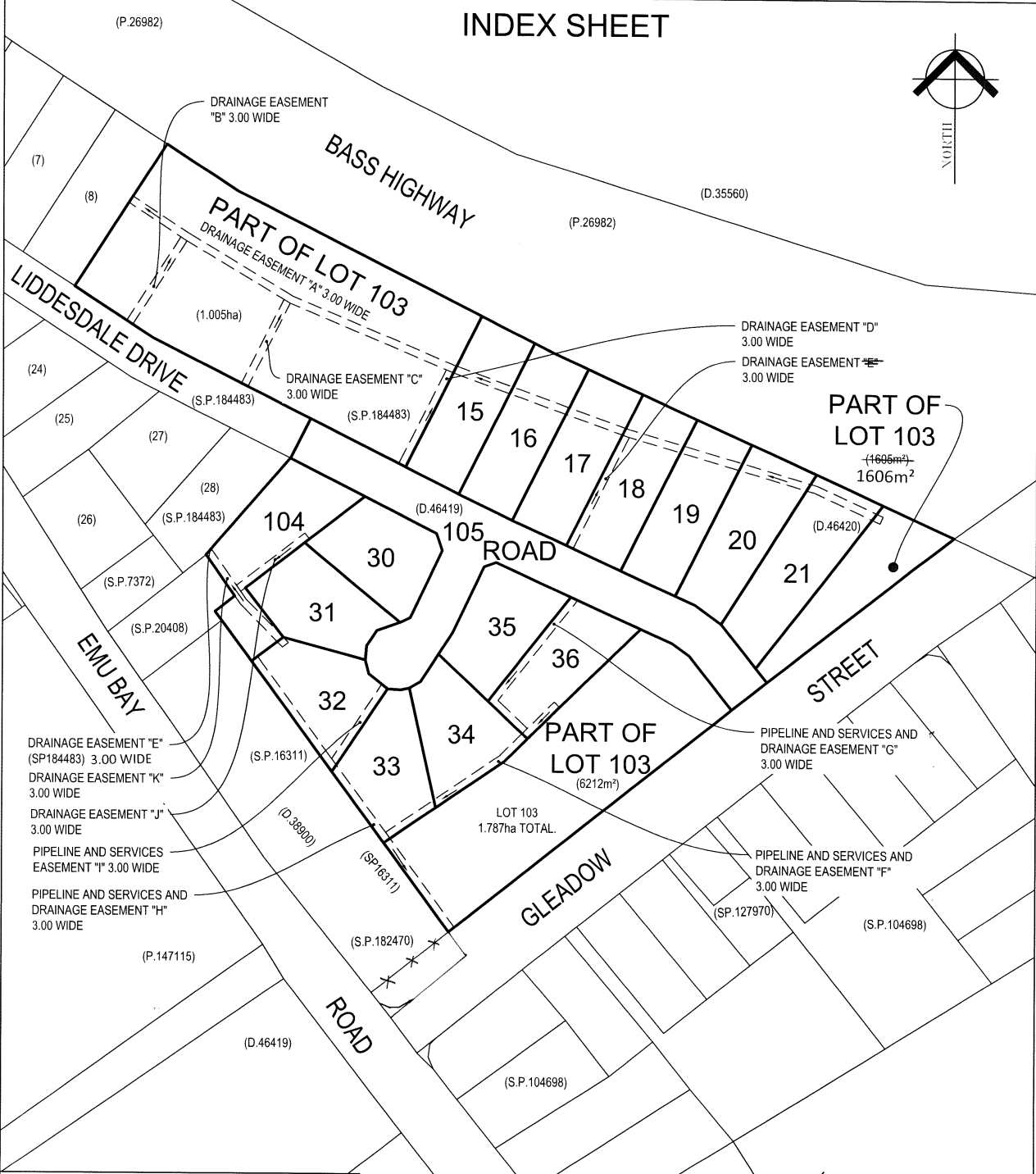
Reservations and conditions in the Crown Grant if any
 SP185043 EASEMENTS in Schedule of Easements
 SP185043 FENCING COVENANT in Schedule of Easements
 SP185043 SEWERAGE AND/OR DRAINAGE RESTRICTION
 B738897 PROCLAMATION under Section 52A of the Roads and
 Jetties Act 1935 Registered 10-May-1995 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER PATON ENTERPRISES PTY LTD	<p align="center">PLAN OF SURVEY</p> <p>BY SURVEYOR R. M. PECK LAND DISTRICT OF DEVON LOCATION - PARISH OF MALLING TOWN OF DELORAINÉ</p> <p align="center">6ty° 21.120</p>	REGISTERED NUMBER SP185043
FOLIO REFERENCE C.T 184483/101, C.T 46419/1, C.T 46420/2		APPROVED EFFECTIVE FROM 6 JUL 2023 <i>R.M. Peck</i> Recorder of Titles
GRANTEE PART OF LOT 429 213 ^{AC} GRANTED TO JAMES DUFF MACKAY AND WILLIAM KENNEY	SCALE 1:1500 LENGTHS IN METRES	

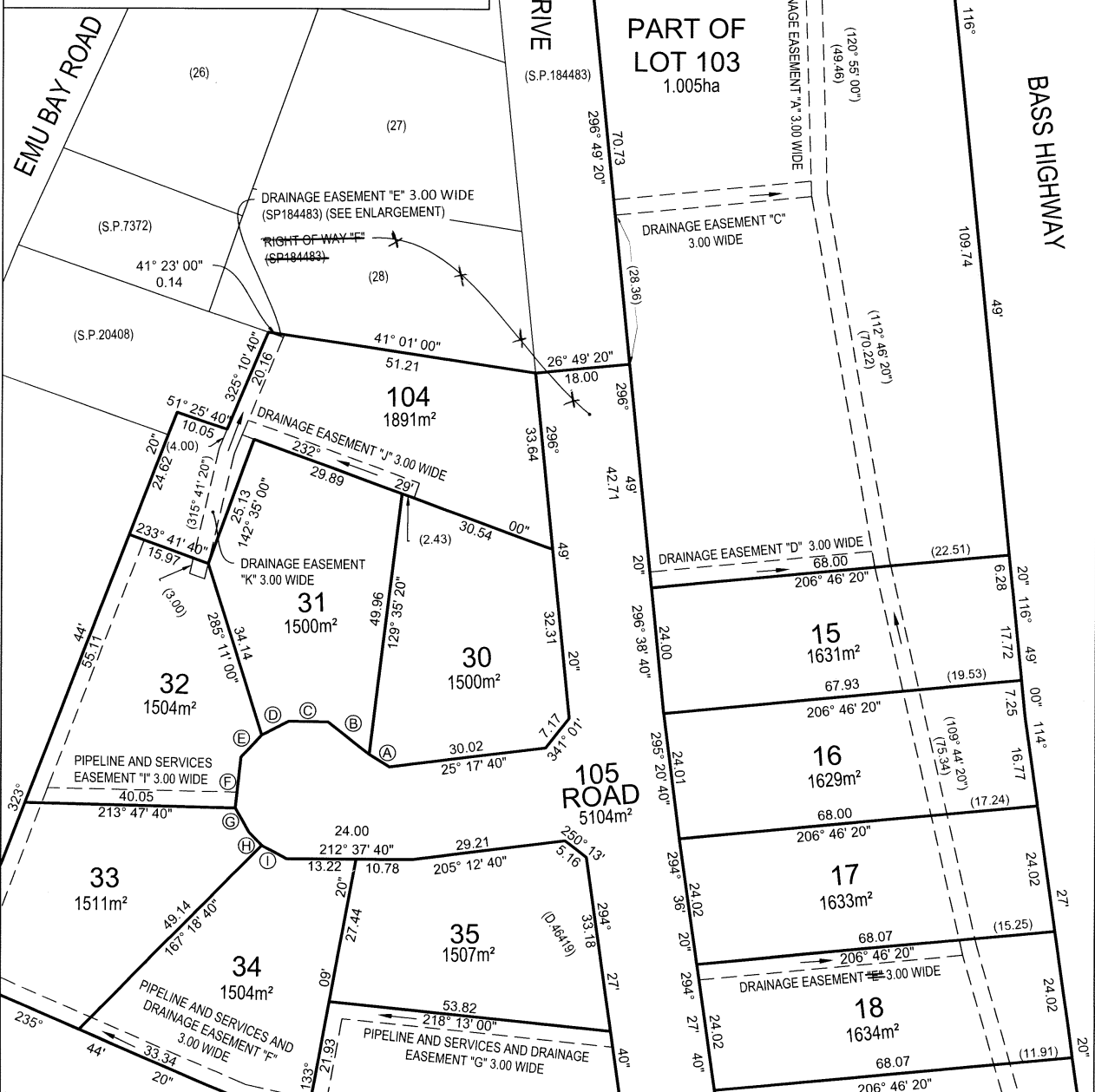
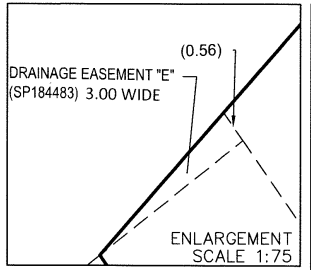
MAPSHEET MUNICIPAL CODE No	LAST UPI No	LAST PLAN No.	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN
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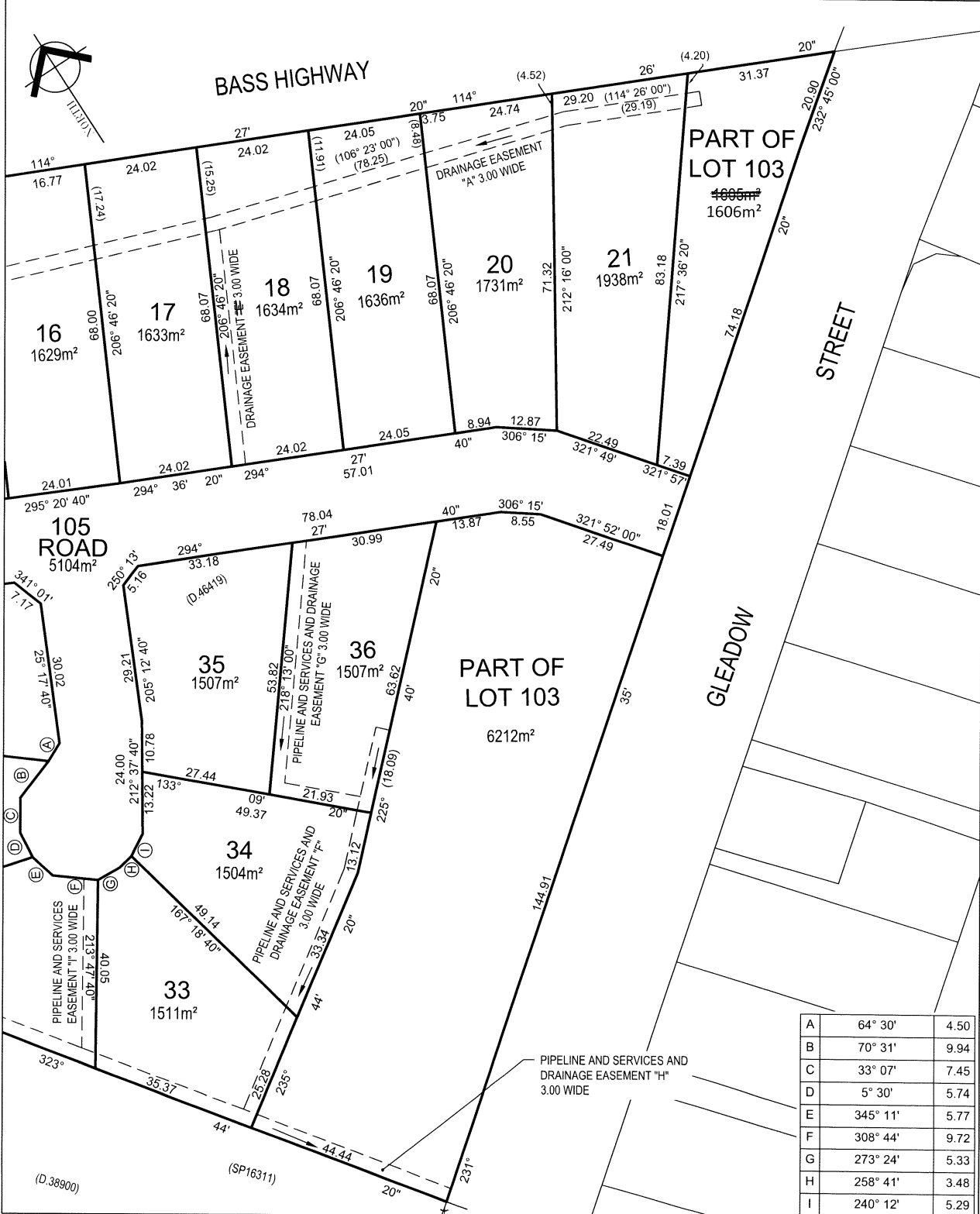
<i>R.M. Peck</i> REGISTERED LAND SURVEYOR	28/04/23 DATE	(S.P.126244)	<i>W. Hall</i> COUNCIL DELEGATE	17.5.2023 DATE
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<p>PLAN OF SURVEY ANNEXURE SHEET</p> <p>SHEET 1 OF 2 SHEETS</p>	<p>OWNER PATON ENTERPRISES PTY LTD</p> <p>FOLIO REFERENCE C.T. 46419/1, C.T. 184483/101, C.T. 46420/2</p> <p>SCALE 1:750 LENGTH IN METRES</p>	<p>Registered Number</p> <p>SP 185043</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p><i>[Signature]</i> 17.5.2023 Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET</p> <p><i>[Signature]</i> 28/04/23 Registered Land Surveyor Date</p>	<p>APPROVED EFFECTIVE FROM 6 JUL 2023</p> <p><i>[Signature]</i> Recorder of Titles</p>

A	64° 30'	4.50
B	70° 31'	9.94
C	33° 07'	7.45
D	5° 30'	5.74
E	345° 11'	5.77
F	308° 44'	9.72
G	273° 24'	5.33
H	258° 41'	3.48
I	240° 12'	5.29



<p>PLAN OF SURVEY ANNEXURE SHEET</p> <p>SHEET 2 OF 2 SHEETS</p>	<p>OWNER PATON ENTERPRISES PTY LTD</p> <p>FOLIO REFERENCE C.T. 46419/1, C.T. 184483/101, C.T. 46420/2</p> <p>SCALE 1:750 LENGTH IN METRES</p>	<p>Registered Number</p> <p>SP 185043</p>
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SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 185043

PAGE 1 OF 4 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lots 15 to 21 (inclusive) and Lot 103 on the Plan are each SUBJECT TO a right of drainage for the Meander Valley Council over the land marked Drainage Easement "A" 3.00 Wide shown on the Plan.

Lot 103 on the Plan is SUBJECT TO a right of drainage for the Meander Valley Council over the land marked Drainage Easement "B" 3.00 Wide shown on the Plan.

Lot 103 on the Plan is SUBJECT TO a right of drainage for the Meander Valley Council over the land marked Drainage Easement "C" 3.00 Wide shown on the Plan.

Lot 103 on the Plan is SUBJECT TO a right of drainage for the Meander Valley Council over the land marked Drainage Easement "D" 3.00 Wide shown on the Plan.

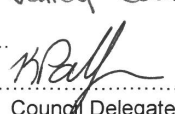
Lot 18 on the Plan is SUBJECT TO a right of drainage for the Meander Valley Council over the land marked Drainage Easement "E" 3.00 Wide shown on the Plan.

Lots 33, 34 and 36 on the Plan are each SUBJECT TO a right of drainage for the Meander Valley Council over the land marked Pipeline and Services and Drainage Easement "F" 3.00 Wide shown on the Plan.

Lot 36 on the Plan is SUBJECT TO a right of drainage for the Meander Valley Council over the land marked Pipeline and Services and Drainage Easement "G" 3.00 Wide shown on the Plan.

Lots 32, 33 and 103 on the Plan are each SUBJECT TO a right of drainage for the Meander Valley Council over the land marked Pipeline and Services and Drainage Easement "H" 3.00 Wide shown on the Plan.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: PATON ENTERPRISES PTY LTD	PLAN SEALED BY: Meander Valley Council
FOLIO REF: 46419/1, 184483/101 and 46420/2	DATE: 17 May 2023
SOLICITOR & REFERENCE: Shields Heritage DA Smith	PA/23/0020 REF NO.
	 Council Delegate

NOTE: The Council Delegate must sign the Certificate for the purposes of identification.



<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 2 OF 4 PAGES</p>	<p>Registered Number</p> <p>SP 185043</p>
<p>SUBDIVIDER: PATON ENTERPRISES PTY LTD FOLIO REFERENCE: 46419/1, 184483/101 and 46420/2</p>	

Lot 104 on the Plan is SUBJECT TO a right of drainage for the Meander Valley Council over the land marked Drainage Easement “J” 3.00 Wide shown on the Plan.

Lots 32 and 104 on the Plan are each SUBJECT TO a right of drainage for the Meander Valley Council over the land marked Drainage Easement “K” 3.00 Wide shown on the Plan.

Lot 104 on the Plan is SUBJECT TO a right of drainage for the Meander Valley Council over the land marked Drainage Easement “E” (SP184483) shown on the Plan.
3.00 wide

Lots 33, 34 and 36 on the Plan are each SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked Pipeline and Services and Drainage Easement “F” 3.00 Wide shown on the Plan (“the Easement Land”).

Lot 36 on the Plan is SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked Pipeline and Services and Drainage Easement “G” 3.00 Wide shown on the Plan (“the Easement Land”).

Lots 32, 33 and 103 on the Plan are each SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked Pipeline and Services and Drainage Easement “H” 3.00 Wide shown on the Plan (“the Easement Land”).

Lot 32 on the Plan is SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked Pipeline and Services Easement “I” 3.00 Wide shown on the Plan (“the Easement Land”).

“Pipeline and Services Easement” is defined as follows:-

FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:-

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 3 OF 4 PAGES</p>	<p>Registered Number</p> <p>SP 185043</p>
<p>SUBDIVIDER: PATON ENTERPRISES PTY LTD FOLIO REFERENCE: 46419/1, 184483/101 and 46420/2</p>	

- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (1) without doing unnecessary damage to the Easement Land; and
 - (2) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the relevant Lot from the highway at any vehicle entry and cross the relevant Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the relevant Lot.

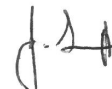
SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof maybe annexed to the easement herein described.

Interpretation:

“Infrastructure” means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 4 OF 4 PAGES</p>	<p>Registered Number</p> <p>SP 185043</p>
<p>SUBDIVIDER: PATON ENTERPRISES PTY LTD FOLIO REFERENCE: 46419/1, 184483/101 and 46420/2</p>	

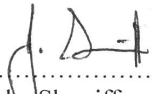
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other Infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

“TasWater” means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

FENCING COVENANT

The owner of each Lot covenants with the Vendor Paton Enterprises Pty Ltd (A.C.N. 639 417 217) that the said Paton Enterprises Pty Ltd (A.C.N. 639 417 217) shall not be required to fence.

EXECUTED by PATON ENTERPRISES)
PTY LTD (A.C.N. 639 417 217) the)
 registered proprietor of the land comprised)
 in Folios of the Register Volume 46419 Folio)
 1, Volume 184483 Folio 101 and Volume)
 46420 Folio 2 pursuant to Section 127(1)(c))
 of the Corporations Act 2001 by being signed)
 by the company’s sole director who is also the)
 sole company secretary)



.....
 Jason John Sherriff

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

DA

TASMANIAN PLANNING SCHEME

SHEET INDEX

1	COVER SHEET
2	SITE PLAN
3	SOIL & WATER MANAGEMENT PLAN
4	GROUND FLOOR PLAN
5	ELEVATIONS / SECTION
6	ELEVATIONS
7	WINDOW & DOOR SCHEDULES
8	ROOF DRAINAGE PLAN
9	FLOOR COVERINGS
10	KITCHEN DETAILS
11	BATHROOM DETAILS
12	LAUNDRY DETAILS

TOTAL FLOOR AREAS

MAIN DWELLING, GROUND FLOOR	
ALFRESCO	11.49
GARAGE	20.93
LIVING	109.68
PORCH	2.39
TOTAL	144.49 m²

TRAFFIC NOISE ASSESSMENT.
REFER TO RECOMMENDATIONS
AS PER REPORT PREPARED BY
TARKARRI ENGINEERING
(16.04.2024)

AS & NCC COMPLIANCE

- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NCC 2022 AND APPLICABLE AUSTRALIAN STANDARDS AT TIME OF APPROVAL.
- SLAB IN ACCORDANCE WITH AS 2870. REFER TO ENGINEERS DETAILS FOR ALL SLAB DETAILS.
 - BRICK CONTROL JOINTS PROVIDED IN ACCORDANCE WITH NCC 2022.
 - ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-2020 OR AS/NZS 4600-2018.
 - INSULATION TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 AND ALL APPLICABLE AUSTRALIAN STANDARDS.
 - TERMITE PROTECTION IN ACCORDANCE WITH AS 3660 AND NCC 2022.
 - GLAZING IN ACCORDANCE WITH AS 1288 AND NCC 2022.
 - SMOKE ALARMS IN ACCORDANCE WITH AS 3786 AND NCC 2022.
 - INTERNAL WATERPROOFING IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS PART 10.2.
 - EXTERNAL WATERPROOFING IN ACCORDANCE WITH AS 3740 AND AS 4654.
 - WET AREA FLOORS TO FALL TO FLOOR WASTES AT MIN. 1:80 AND MAX. 1:50 GRADE (IF APPLICABLE).
 - CONDENSATION MANAGEMENT IN ACCORDANCE WITH NCC 2019.
 - BUILDING SEALING IN ACCORDANCE WITH NCC 2022.
 - SERVICES IN ACCORDANCE WITH NCC 2022.
 - EARTHWORKS IN ACCORDANCE WITH AS 3798-2007.
 - EXTERNAL WALL WRAP (SARKING) IN ACCORDANCE WITH NCC 2022 (IF APPLICABLE).
 - EXHAUST FANS DUCTED TO OUTSIDE AIR (IF APPLICABLE).

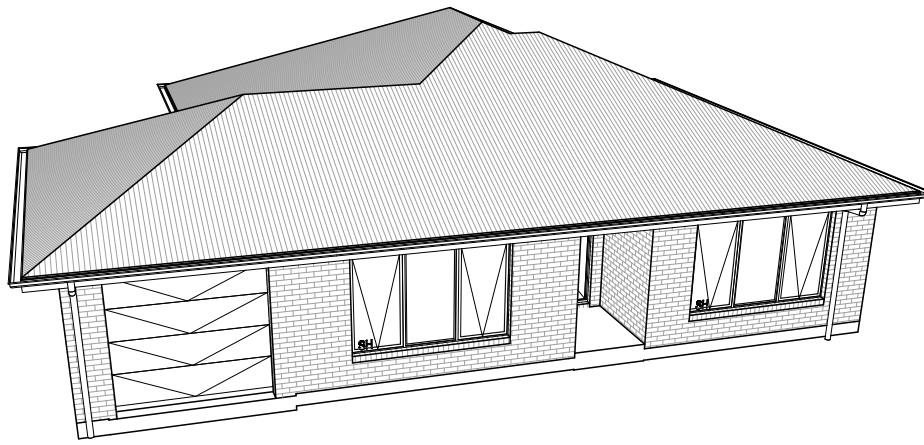
SITE SPECIFIC CONTROLS

CONTROL	DETAILS
ACID SULPHATE SOIL	NO
BIODIVERSITY	NO
BUILDING ENVELOPE	YES
BUSHFIRE	BAL-LOW
CLIMATE ZONE (NCC)	ZONE 7 - COOL TEMPERATE
DESIGN WIND CLASSIFICATION	N3 (NOT EXPOSED)
ESTATE/DEVELOPER GUIDELINES	NO
FLOOD OVERLAY	NO
HERITAGE	NO
LANDSLIP HAZARD	NO
MINIMUM FLOOR LEVEL	NO
NATURAL ASSET CODE	NO
NOISE ATTENUATION	NO
SALINE SOIL	NO
SHIELDING FACTOR	PS - PARTIAL SHIELDING
SITE CLASSIFICATION	M
SPECIFIC AREA PLAN OVERLAY	NO
TERRAIN CATEGORY	TC2.5
TOPOGRAPHIC CLASSIFICATION	T2
WATERWAY & COASTAL OVERLAY	NO
WIND REGION	A - NORMAL
WITHIN 1km CALM SALT WATER	NO
WITHIN 50km BREAKING SURF	42.00km
ZONING	LOW DENSITY RESIDENTIAL

BUILDING CONTROLS & COMPLIANCE

CONTROL	REQUIRED	PROPOSED
SETBACKS		
FRONT	MIN. 8,000mm	12,017mm
SIDE A	MIN. 5,000mm	5,000mm
SIDE B	MIN. 5,000mm	5,403mm
REAR	MIN. 5,000mm	44,017mm
BULK & SCALE		
SITE AREA	1,636.01m ²	
SITE COVERAGE	MAX. 30%	10.04%
LANDSCAPE		
NO APPLICABLE CONTROLS		
EARTHWORKS		
CUT DEPTH	MAX. 2,000mm	548mm
FILL DEPTH	MAX. 1,000mm	214mm
ACCESS & AMENITY		
PARKING SPACES	MIN. 2 SPACES	2 SPACES

3D PERSPECTIVE



NOTE TO OWNER

THESE PLANS MAY FEATURE WORKS THAT ARE EXCLUDED FROM THE SCOPE OF WORKS WITH THE BUILDER, BUT THEY HAVE BEEN INCLUDED IN THESE DRAWINGS TO ASSIST IN THE OVERALL PLANNING AND ASSESSMENT OF THE BUILDING PROJECT. EXAMPLES OF SOME REGULARLY EXCLUDED WORKS INCLUDE DRIVEWAYS, RETAINING WALLS, SOLAR PANEL SPACING AND SITE DRAINAGE. PLEASE REFER TO YOUR SCOPE OF WORKS AND COLOUR SELECTIONS DOCUMENTATION FOR DETAILS OF INCLUDED WORKS. SOME DETAILS ARE INDICATIVE ONLY FOR EXAMPLE FLOORING, TILING, BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

LOCATION MAP



This Plan has been prepared prior to the receipt of one or more of the following documents:- Certificate of Title inclusive of lot specific zoning, easement and covenant documents, BAL report and rating, approved subdivision plans providing crossover locations and service connection points, power and communications connection point information, Geotechnical Site Investigation, Contour Survey, Dial Before You Dig information, Planning Approval.

BUILDING INFORMATION

GROUND FLOOR TOP OF WALL HEIGHT(S)	2445mm
NOTE: CEILING HEIGHT 45mm LOWER THAN TOP OF WALL	
ROOF PITCH (U.N.O.)	23.0°
ELECTRICITY SUPPLY	SINGLE PHASE
GAS SUPPLY	NONE
ROOF MATERIAL	SHEET METAL
ROOF COLOUR	N/A
WALL MATERIAL	BRICK VENEER
SLAB CLASSIFICATION	TBC

INSULATION

ROOF	SARKING UNDER ROOFING
CEILING	R4.1 BATTS (EXCL. GARAGE, ALFRESCO & PATIO) PLUS R2.0 BATTS SOUNDSREEN LAYER AS PER ENG. REPORT
EXT. WALLS	R2.0 BATTS (EXCL. GARAGE) WALL WRAP TO ENTIRE HOUSE
INT. WALLS	R2.0 BATTS ADJACENT TO GARAGE AND AS PER PLAN
FLOOR	BIAX SLAB

THE OWNERS ACKNOWLEDGE THAT THESE CONTRACT PLANS MAY NOT REFLECT ALL THE SELECTIONS THAT HAVE BEEN MADE OR CHANGES REQUESTED. THE OWNERS AGREE THAT FOLLOWING THE COLOUR SELECTIONS VARIATION OR UPDATING OF PLANS, THEY WILL BE PROVIDED WITH CONSTRUCTION PLANS FOR SIGNATURE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

SIGNATURE: _____

DATE: _____

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

PRELIMINARY PLAN SET

No.	AMENDMENT	SHEET	DATE	DRAWN	CHECK
6	PRELIMINARY PLAN SET - RFI & VARIATION REF. 002 UPDATE	1, 4	2024.06.07	MLG	-
5	PRELIMINARY PLAN SET - VARIATION REF. 001 UPDATE	ALL	2024.04.10	MLG	-
4	PRELIMINARY PLAN SET - INITIAL ISSUE	ALL	2024.02.19	MT/HMI	DKZ

© 2024 WILSON HOMES PTY LTD (ABN 96 126 636 897). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). WILSON HOMES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF WILSON HOMES PTY LTD.



SPECIFICATION:	REVISION	DRAWN	CLIENT:
DISCOVERY	2 CT2 AMENDMENTS	JOL 18/12/2023	VICTORIA LOUISE & STEPHEN MICHAEL VAN LOON
COPYRIGHT:	3 CT3 AMENDMENTS	JOL 15/01/2024	ADDRESS:
© 2024	4 PRELIM PLANS - INITIAL ISSUE	MT 19/02/2024	32 LIDDESDALE DRIVE, DELORAINE TAS 7304
	5 PRELIM PLANS - VARIATION UPDATE	MLG 2024.04.10	LOT / SECTION / CT:
	6 PRELIM PLANS - RFI & VARIATION UPDATE	MLG 2024.06.07	19 / - / 185043
			COUNCIL:
			MEANDER VALLEY COUNCIL

HOUSE DESIGN:	HOUSE CODE:	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
MONASH 11	H-WDCMNS30SA	713893
FAÇADE DESIGN:	FAÇADE CODE:	
CLASSIC	F-WDCMNS30CLASA	
SHEET TITLE:	SCALES:	
COVER SHEET	1:100	

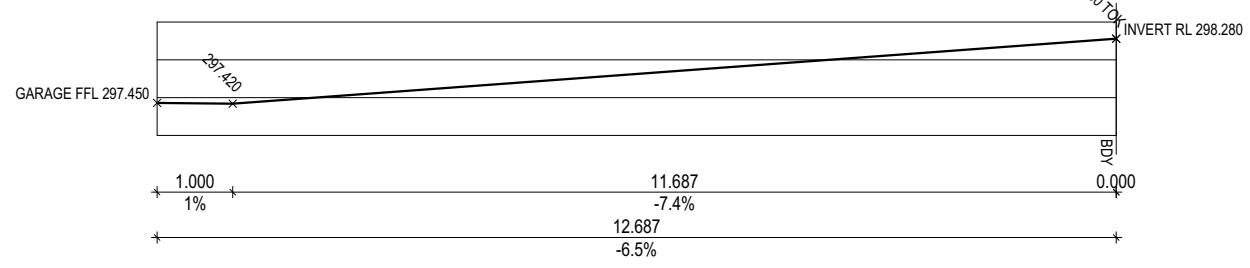
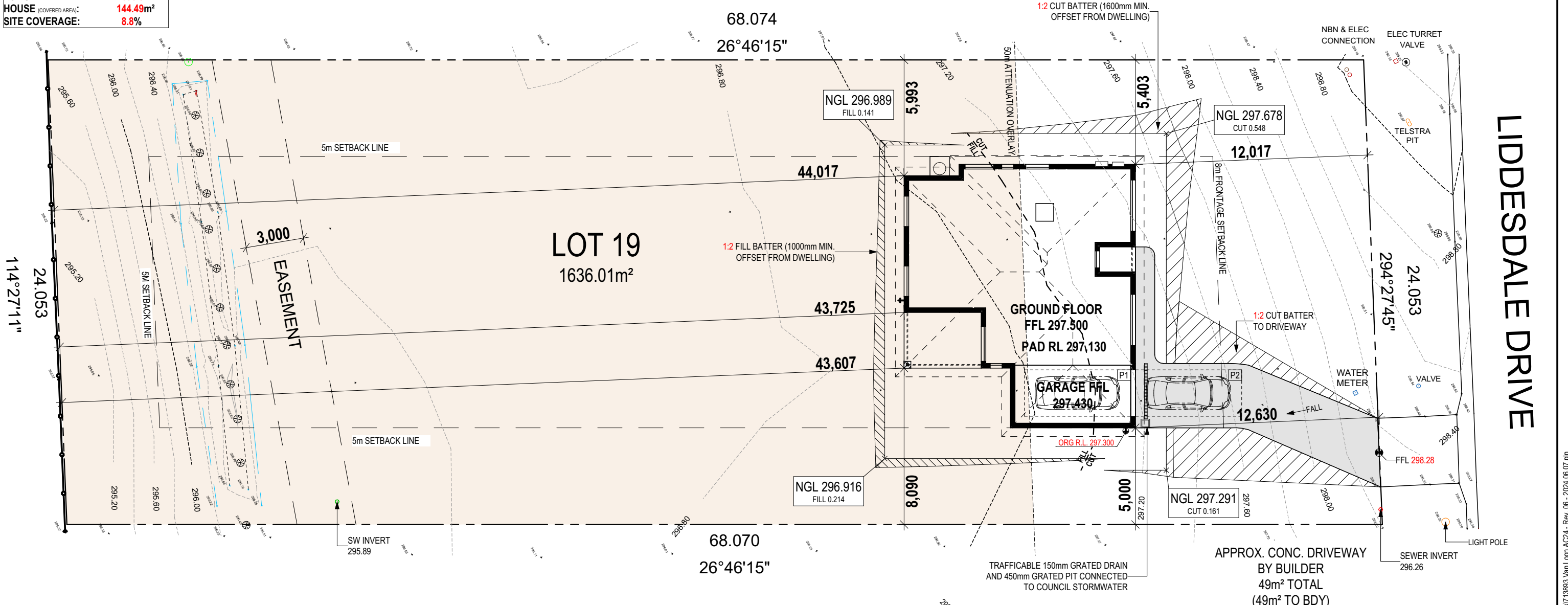
HOUSE DESIGN:	HOUSE CODE:	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
MONASH 11	H-WDCMNS30SA	713893
FAÇADE DESIGN:	FAÇADE CODE:	
CLASSIC	F-WDCMNS30CLASA	
SHEET TITLE:	SCALES:	
COVER SHEET	1:100	

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
 - SUSTAINABILITY REQUIREMENTS
 - SITE CLASSIFICATION
 - GENERAL BUILDING INFORMATION

APPROX. CUT/FILL		
CUT	19.95m ³	44.89t
FILL	20.18m ³	45.41t
DIFFERENCE	0.23m ³	0.52t

EVEN CUT & FILL

LOT SIZE: **1636.01m²**
 HOUSE (COVERED AREA): **144.49m²**
 SITE COVERAGE: **8.8%**



SUBJECT TO NCC 2022 (1 MAY 2023)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

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	DISCOVERY	2	CT2 AMENDMENTS	JOL 18/12/2023	VICTORIA LOUISE & STEPHEN MICHAEL VAN LOON	MONASH 11		H-WDCMNS30SA
	COPYRIGHT:	3	CT3 AMENDMENTS	JOL 15/01/2024	ADDRESS:	FACADE DESIGN:		FACADE CODE:
	© 2024	4	PRELIM PLANS - INITIAL ISSUE	MT 19/02/2024	32 LIDDESDALE DRIVE, DELORAINE TAS 7304	CLASSIC		F-WDCMNS30CLASA
		5	PRELIM PLANS - VARIATION UPDATE	MLG 2024.04.10	LOT / SECTION / CT:	SHEET TITLE:		SHEET No.:
		6	PRELIM PLANS - RFI & VARIATION UPDATE	MLG 2024.06.07	19 / - / 185043	COUNCIL: MEANDER VALLEY COUNCIL		2 / 12
						SCALES: 1:200, 1:100	713893	

ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.

OWNER TO STABILISE THE SITE ON COMPLETION OF THE BUILD WITH TURF LAWNS, GRASS SEEDS, NATIVE GROUND COVERS AND/ OR MULCH SPREAD TO A DEPTH OF 75-100mm

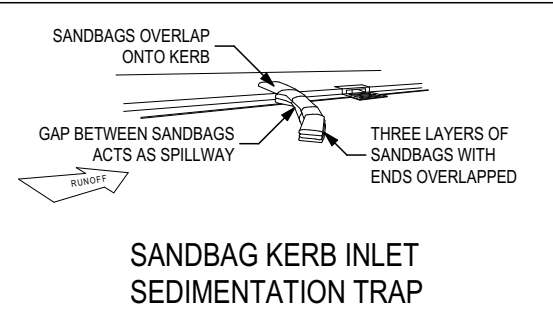
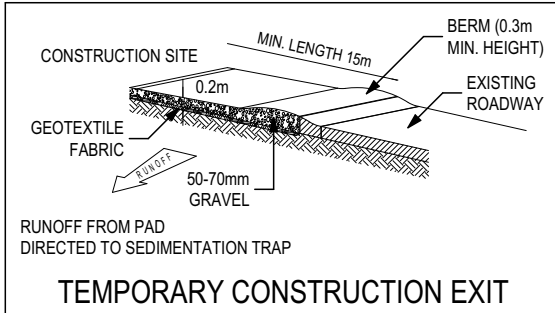
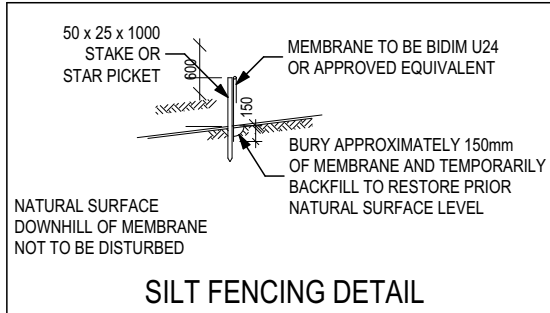
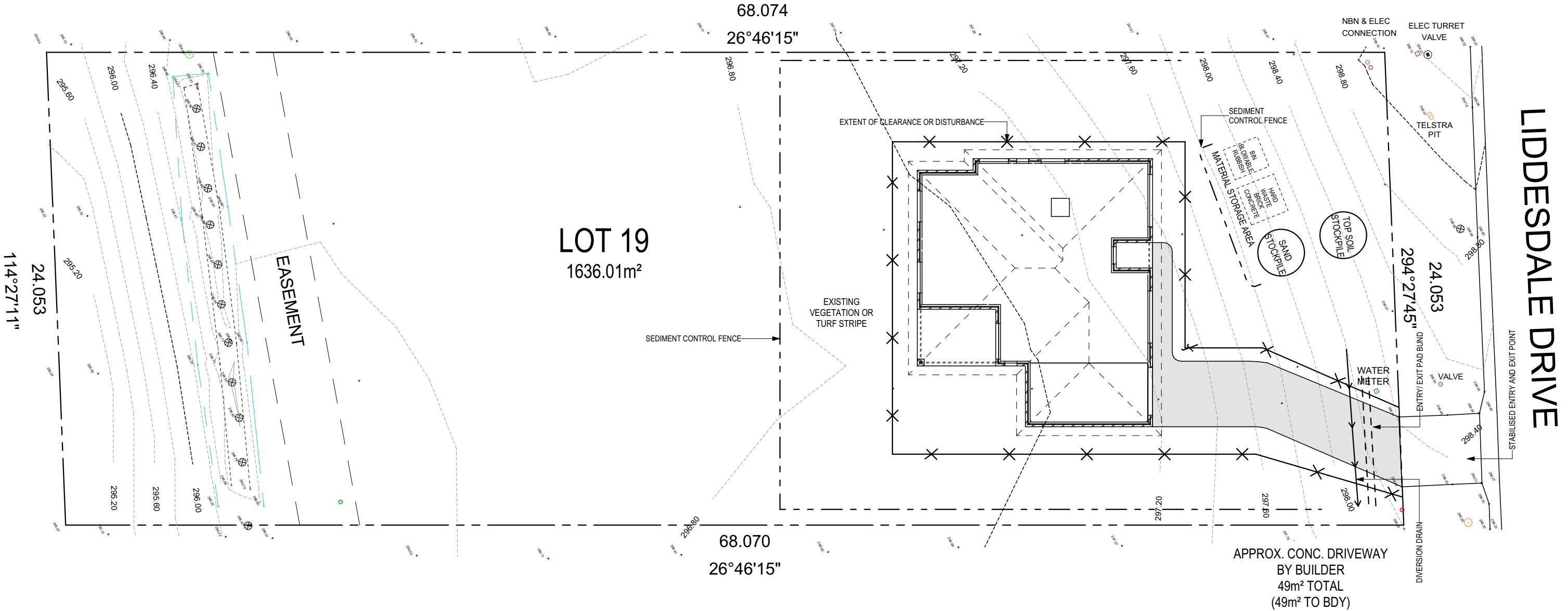
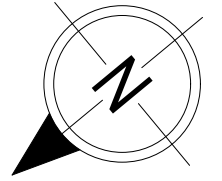
THE FOLLOWING IS A STANDARD APPROACH. SEDIMENT AND EROSION CONTROL MEASURES WILL BE REVIEWED PRIOR TO COMMENCING WORK AND INSTALLED BASED ON THE OUTCOME OF THAT REVIEW.

NOTES:

1. ALL EROSION AND SEDIMENT CONTROL STRUCTURES TO BE INSPECTED EACH WORKING DAY AND MAINTAINED IN GOOD WORKING ORDER.
2. ALL GROUND COVER VEGETATION OUTSIDE THE IMMEDIATE BUILDING AREA TO BE PRESERVED DURING THE BUILDING PHASE.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED PRIOR TO COMMENCEMENT OF MAJOR EARTHWORKS.
4. STOCKPILES OF CLAYEY MATERIAL TO BE COVERED WITH AN IMPERVIOUS SHEET.
5. ROOF WATER DOWNPIPES TO BE CONNECTED TO THE PERMANENT UNDERGROUND STORMWATER DRAINAGE SYSTEM AS SOON AS PRACTICAL AFTER THE ROOF IS LAID.
6. DIVERSION DRAINS ARE TO BE CONNECTED TO A LEGAL DISCHARGE POINT (COUNCIL STORMWATER SYSTEM, WATERCOURSE OR ROAD DRAIN).
7. SEDIMENT RETENTION TRAPS INSTALLED AROUND THE INLETS TO THE STORMWATER SYSTEM TO PREVENT SEDIMENT & OTHER DEBRIS BLOCKING THE DRAINS.

ALL RUNOFF AND SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED EACH WORKING DAY AND MAINTAINED IN A FUNCTIONAL CONDITION.

ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.



**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

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<p>SPECIFICATION: DISCOVERY</p> <p>COPYRIGHT: © 2024</p>	REVISION		DRAWN		CLIENT: VICTORIA LOUISE & STEPHEN MICHAEL VAN LOON	HOUSE DESIGN: MONASH 11	HOUSE CODE: H-WDCMNS30SA	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
	2	CT2 AMENDMENTS	JOL	18/12/2023				
	3	CT3 AMENDMENTS	JOL	15/01/2024	LOT / SECTION / CT: 19 / - / 185043	SHEET TITLE: SOIL & WATER MANAGEMENT PLAN	SHEET No.: 3 / 12	
	4	PRELIM PLANS - INITIAL ISSUE	MT	19/02/2024				
	5	PRELIM PLANS - VARIATION UPDATE	MLG	2024.04.10				
	6	PRELIM PLANS - RFI & VARIATION UPDATE	MLG	2024.06.07				

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Template Version: 24.033

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
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 - SITE CLASSIFICATION
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MAIN DWELLING, GROUND FLOOR	
ALFRESCO	11.49
GARAGE	20.93
LIVING	109.68
PORCH	2.39
TOTAL	144.49 m²

ALL MECHANICAL VENTILATION TO BE DISCHARGED TO OUTDOOR AIR AS PER NCC 2022 REQUIREMENTS

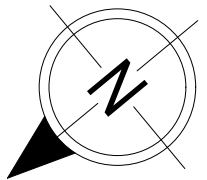
FIRE RESISTANT PLASTERBOARD TO BE INSTALLED BEHIND COOKTOP

ALL GROUND FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2155 ABOVE FFL UNLESS NOTED OTHERWISE

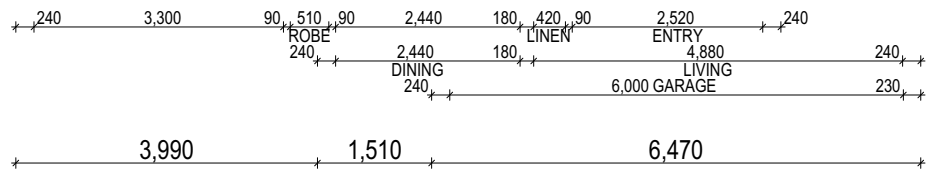
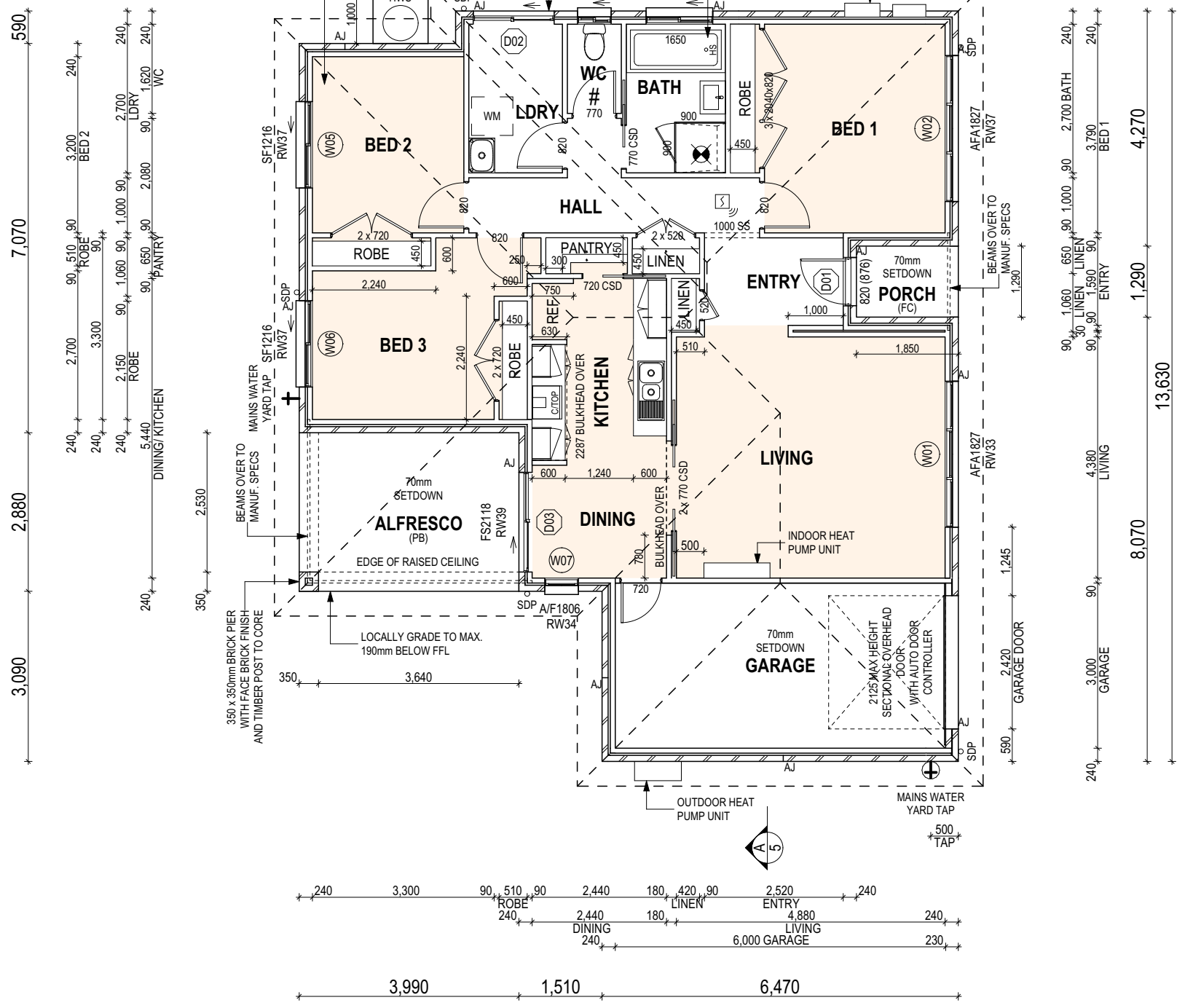
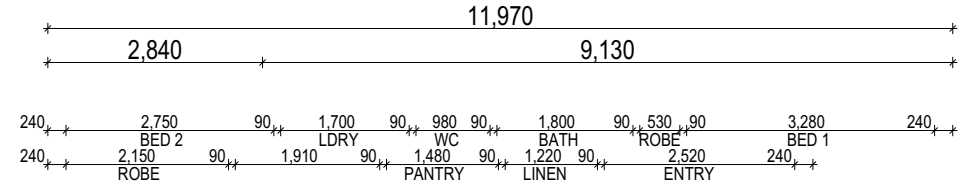
REFER TO WINDOW AND DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS. PLEASE NOTE WINDOW AND DOOR SIZES ARE BASED ON MANUFACTURERS SPECIFICATIONS AT DEPOSIT STAGE AND MAY DIFFER SLIGHTLY TO THE SIZES NOMINATED IN THE SCOPE OF WORKS DUE TO MANUFACTURING CHANGES AT THE TIME OF CONSTRUCTION.

FINAL WINDOW AND EXTERIOR DOOR LOCATIONS MAY BE ADJUSTED ON SITE TO SUIT BRICKWORK GAUGE

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:



LEGEND	
HS / WS	HOB SPOUT / WALL SPOUT
	FACE BRICK / COMMON BRICK
	RENDER
	SOUND INSULATION
AJ	BRICK ARTICULATION JOINT
SDP	STANDARD DOWNPIPE
CDP	CHARGED DOWNPIPE
	DENOTES DRAWER SIDE
	MECHANICAL VENTILATION
L.B.W	LOAD BEARING WALL
PB	PLASTERBOARD
FC	FIBRE CEMENT
	THIS DOOR OPENS FIRST
	SMOKE ALARM
#	LIFT OFF HINGE
†	WATER POINT
	FLOOR WASTE
	GAS BAYONET



ALL DIMENSIONS ARE FRAME DIMENSIONS

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ANY PART OF THE FASCIA, GUTTERING OR DOWNPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH NCC 2022

ALL EXTERIOR SLABS TO BE GRADED BY CONCRETE TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.

**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER	
SIGNATURE:	DATE:
SIGNATURE:	DATE:
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© 2024	4 PRELIM PLANS - INITIAL ISSUE	MT 19/02/2024	32 LIDDESDALE DRIVE, DELORAINNE TAS 7304
	5 PRELIM PLANS - VARIATION UPDATE	MLG 2024.04.10	LOT / SECTION / CT:
	6 PRELIM PLANS - RFI & VARIATION UPDATE	MLG 2024.06.07	19 / - / 185043

HOUSE DESIGN:	HOUSE CODE:
MONASH 11	H-WDCMNS30SA
FACADE DESIGN:	FACADE CODE:
CLASSIC	F-WDCMNS30CLASA
SHEET TITLE:	SHEET No.:
GROUND FLOOR PLAN	4 / 12
SCALES:	1:100

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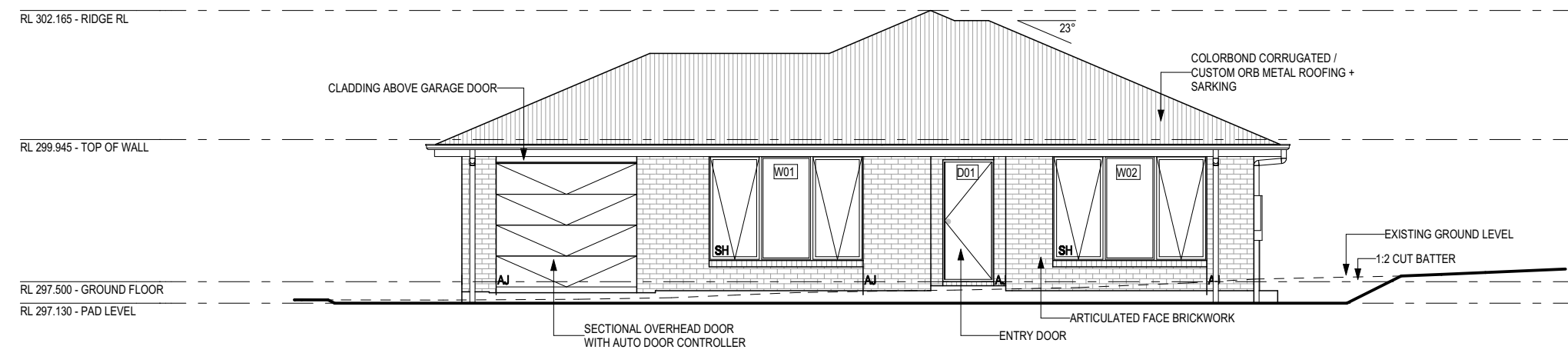
SOME DETAILS ON THIS SHEET ARE INDICATIVE ONLY FOR EXAMPLE BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

SH = SNAP HEADER SILL

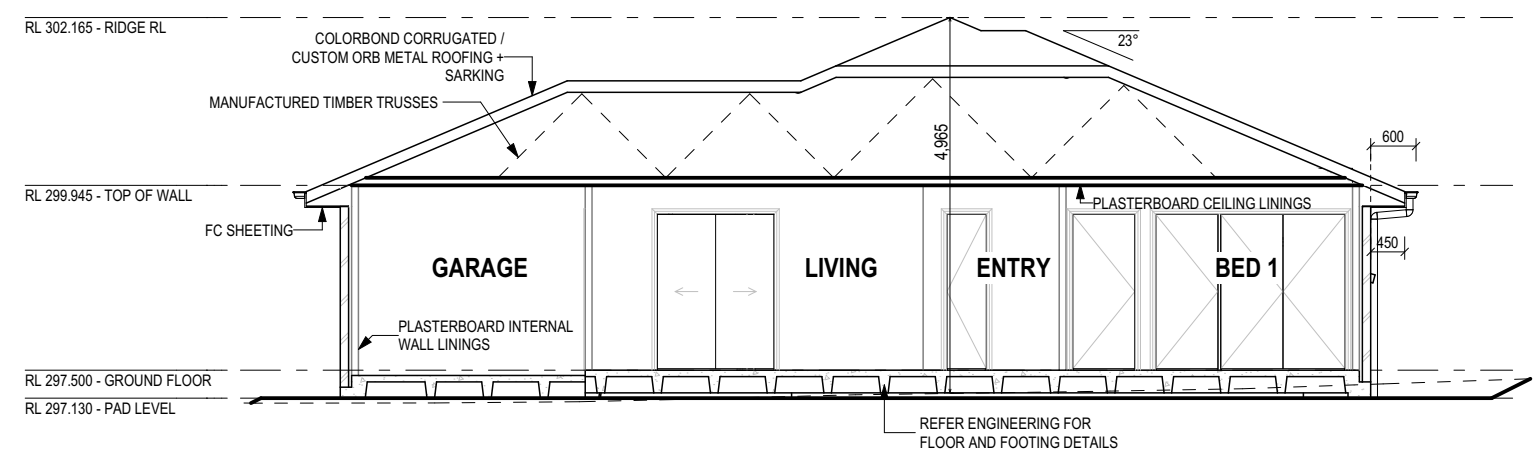
BEDROOM WINDOW OPENINGS ABOVE 2m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

ROOMS OTHER THAN BEDROOM WINDOW OPENINGS ABOVE 4m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

REFER TO THE FOLLOWING DETAILS:
 BRICK COURSING W-BRIC-001



SOUTH WEST ELEVATION
SCALE: 1:100

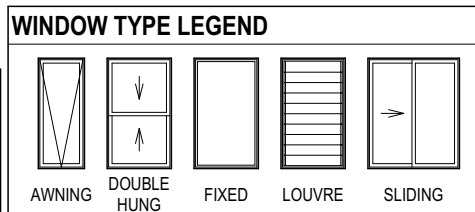
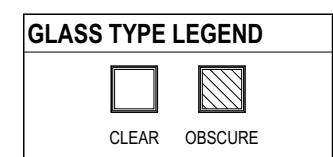


SECTION A-A
SCALE: 1:100



NORTH EAST ELEVATION
SCALE: 1:100

**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**



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	2 CT2 AMENDMENTS	JOL 18/12/2023	VICTORIA LOUISE & STEPHEN MICHAEL VAN LOON	MONASH 11	H-WDCMNS30SA	
	3 CT3 AMENDMENTS	JOL 15/01/2024	ADDRESS:	FACADE DESIGN:	FACADE CODE:	
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	6 PRELIM PLANS - RFI & VARIATION UPDATE	MLG 2024.06.07	19 / - / 185043	ELEVATIONS / SECTION	5 / 12	
			COUNCIL:		SCALES:	1:100
			MEANDER VALLEY COUNCIL			

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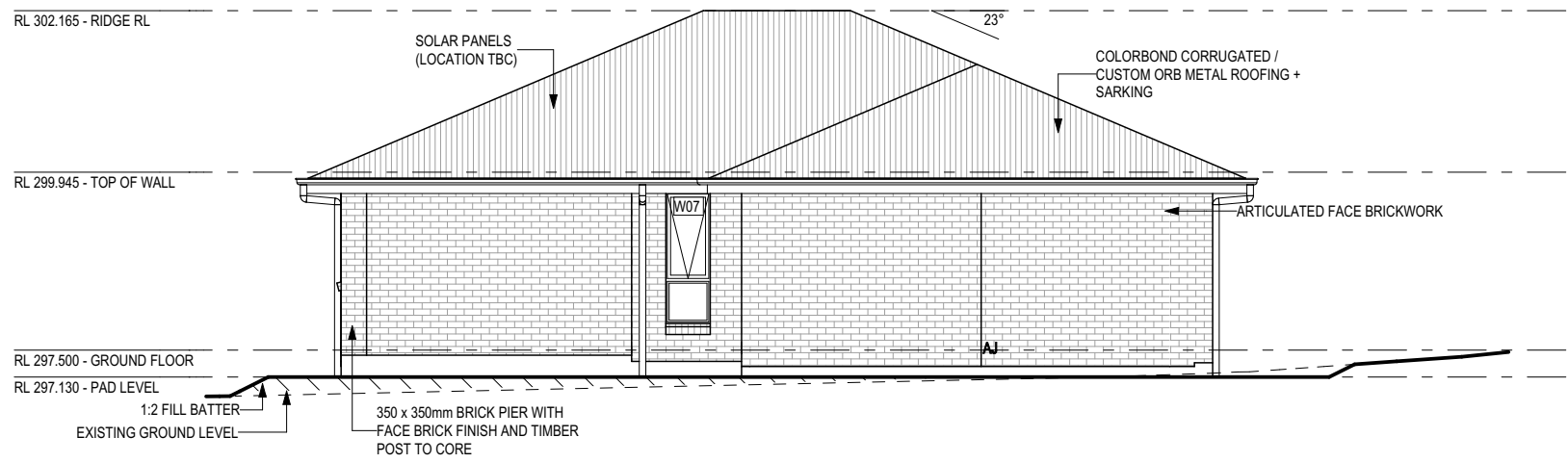
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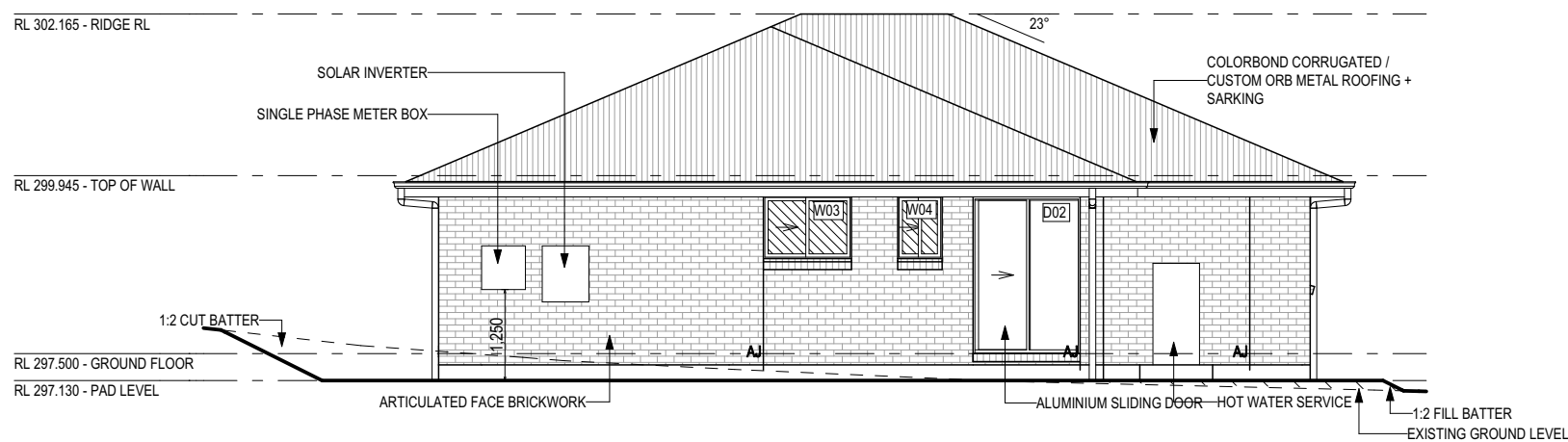
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REFER TO THE FOLLOWING DETAILS:
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NORTH WEST ELEVATION
 SCALE: 1:100



SOUTH EAST ELEVATION
 SCALE: 1:100

**SUBJECT TO NCC 2022
 (1 MAY 2023)
 WATERPROOFING & PLUMBING**

GLASS TYPE LEGEND

CLEAR	OBSCURE

WINDOW TYPE LEGEND

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AWNING	DOUBLE HUNG	FIXED	LOUVRE	SLIDING

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			COUNCIL:	ELEVATIONS	1:100	713893	

EXTERIOR WINDOW & DOOR SCHEDULE 1,2 ASSUME LOOKING FROM OUTSIDE

STOREY	ID	CODE¹	TYPE	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m²)	FRAME TYPE	SILL TYPE	ORIENT.	GLAZING AREA (m²)	GLAZING TYPE (SINGLE GLAZING U.N.O.)	ADDITIONAL INFORMATION²
WINDOW														
GROUND FLOOR	W01	AFA1827	AWNING	LIVING	1,800	2,650	8,900	4.77	ALUMINIUM	SNAP HEADER	SW	3.93	CLEAR, DOUBLE GLAZED	MP 883-883, ACOUSTIC GLAZING 33RW RATING
GROUND FLOOR	W02	AFA1827	AWNING	BED 1	1,800	2,650	8,900	4.77	ALUMINIUM	SNAP HEADER	SW	3.93	CLEAR, DOUBLE GLAZED	MP 883-883, ACOUSTIC GLAZING 37RW RATING
GROUND FLOOR	W03	SF0912	SLIDING	BATH	860	1,210	4,140	1.04	ALUMINIUM	ANGLED	SE	0.86	OBSCURE, DOUBLE GLAZED	
GROUND FLOOR	W04	SF0906	SLIDING	WC	860	610	2,940	0.52	ALUMINIUM	ANGLED	SE	0.39	OBSCURE, DOUBLE GLAZED	
GROUND FLOOR	W05	SF1216	SLIDING	BED 2	1,200	1,570	5,540	1.88	ALUMINIUM	ANGLED	NE	1.64	CLEAR, DOUBLE GLAZED	ACOUSTIC GLAZING 37RW RATING
GROUND FLOOR	W06	SF1216	SLIDING	BED 3	1,200	1,570	5,540	1.88	ALUMINIUM	ANGLED	NE	1.64	CLEAR, DOUBLE GLAZED	ACOUSTIC GLAZING 37RW RATING
GROUND FLOOR	W07	A/F1806	AWNING	DINING	1,800	610	4,820	1.10	ALUMINIUM	ANGLED	NW	0.80	CLEAR, DOUBLE GLAZED	BP 600, ACOUSTIC GLAZING 34RW RATING
								15.96				13.19		
DOOR														
GROUND FLOOR	D01	820	SWINGING	ENTRY	2,097	876	5,946	1.84	ALUMINIUM	SNAP HEADER	SW	1.23	N/A	
GROUND FLOOR	D02	SF2158x1470	SLIDING	LDRY	2,158	1,470	7,256	3.17	ALUMINIUM	SNAP HEADER	SE	2.71	CLEAR, DOUBLE GLAZED, TOUGHENED	
GROUND FLOOR	D03	FS2118	SLIDING	DINING	2,158	1,810	7,936	3.91	ALUMINIUM	SNAP HEADER	NE	3.41	CLEAR, DOUBLE GLAZED, TOUGHENED	ACOUSTIC GLAZING 39RW RATING
								8.92				7.35		
								24.88				20.54		

Manufacturer - Clark Windows			
Window Type	Glazing	U-Value	SHGC
Awning	Single	6.5	0.67
	Double	4.1	0.57
Fixed	Single	5.9	0.75
	Double	3.2	0.67
Sliding	Single	6.4	0.76
	Double	4.2	0.59
Fixed Pane	Single	5.9	0.75
	Double	3.2	0.67
Fixed Glass Panel Hinged Door	Single	6.0	0.62
	Double	4.3	0.55
Sliding Door	Single	6.1	0.74
	Double	3.6	0.66
Stacking Door	Single	6.3	0.74
	Double	3.8	0.66
135 deg. Awning Bay Window	Single	6.5	0.67
	Double	4.1	0.57
135 deg. Sliding Bay Window	Single	6.5	0.76
	Double	4.2	0.59
90 deg. Awning Bay Window	Single	6.5	0.67
	Double	4.1	0.57
90 deg. Sliding Bay Window	Single	6.5	0.76
	Double	4.2	0.59
Bifold Doors	Single	6.1	0.61
	Double	4.4	0.53

NOTE:
Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures. Restricted windows to have their operability restricted as per N.C.C 11.3.6.

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(1 MAY 2023)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER

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INTERIOR WINDOW & DOOR SCHEDULE

STOREY	QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING TYPE	ADDITIONAL INFORMATION
DOOR							
GROUND FLOOR	1	1000 SS	SQUARE SET OPENING	2,155	1,000	N/A	
GROUND FLOOR	1	2 x 520	SWINGING	2,040	1,040	N/A	
GROUND FLOOR	2	2 x 720	SWINGING	2,040	1,440	N/A	
GROUND FLOOR	1	2 x 770 CSD	CAVITY SLIDING	2,040	1,540	N/A	
GROUND FLOOR	1	3 x 2040x820	SWINGING	2,040	2,494	N/A	
GROUND FLOOR	1	520	SWINGING	2,040	520	N/A	
GROUND FLOOR	1	720	SWINGING	2,040	720	N/A	
GROUND FLOOR	1	720 CSD	CAVITY SLIDING	2,040	720	N/A	
GROUND FLOOR	1	770	SWINGING	2,040	770	N/A	LIFT-OFF HINGES
GROUND FLOOR	1	770 CSD	CAVITY SLIDING	2,040	770	N/A	
GROUND FLOOR	4	820	SWINGING	2,040	820	N/A	


PICTURE, TV RECESS AND SS WINDOW OPENINGS

QTY	TYPE	HEIGHT	WIDTH	AREA (m²)

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

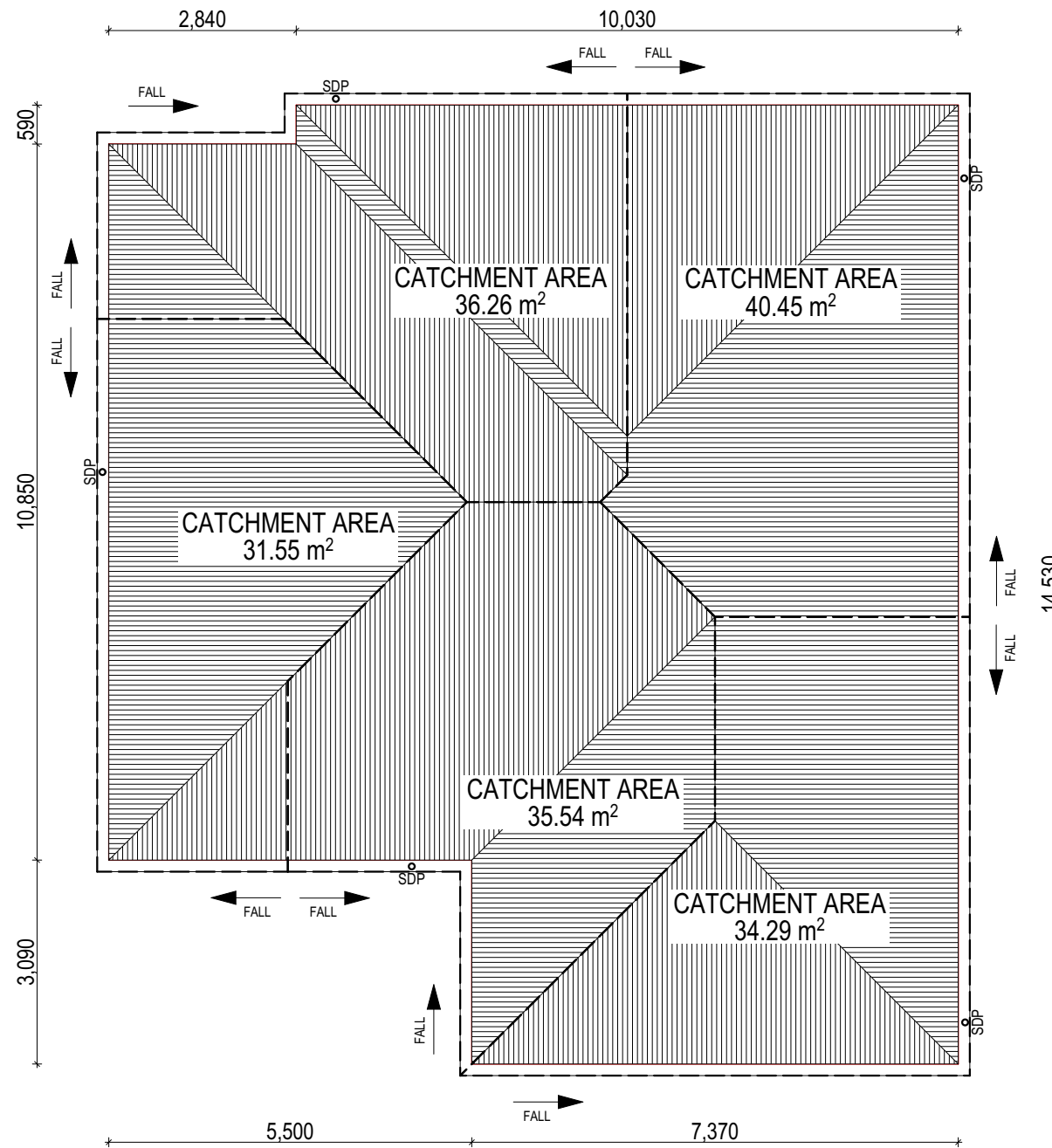
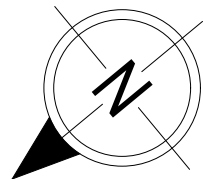
NOTE: INTERNAL DOORS TO WET AREAS WITH MECHANICAL VENTILATION TO BE UNDERCUT 20mm

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			3 CT3 AMENDMENTS	JOL 15/01/2024	LOT / SECTION / CT:	19 / - / 185043		COUNCIL:	MEANDER VALLEY COUNCIL		SHEET TITLE:	WINDOW & DOOR SCHEDULES		SHEET No.:		7 / 12	
			4 PRELIM PLANS - INITIAL ISSUE	MT 19/02/2024													
			5 PRELIM PLANS - VARIATION UPDATE	MLG 2024.04.10													
			6 PRELIM PLANS - RFI & VARIATION UPDATE	MLG 2024.06.07													

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WHERE DOWNPIPES ARE FURTHER THAN 1.2m AWAY FROM VALLEY REFER TO N.C.C. 7.3.5(2)

POSITION AND QUALITY OF DOWNPIPES ARE NOT TO BE ALTERED WITHOUT CONSULTATION WITH DESIGNER.

AREAS SHOWN ARE SURFACE AREAS/ CATCHMENT AREAS, NOT PLAN AREAS

Roofing Data		
	168.33	Flat Roof Area (excluding gutter and slope factor) (m ²)
	182.86	Roof Surface Area (includes slope factor, excludes gutter) (m ²)
Downpipe roof calculations (as per AS/NZA3500.3:2018)		
Ah	178.09	Area of roof catchment (including 115mm Slotted Quad Gutter) (m ²)
Ac	215.48	Ah x Catchment Area Multiplier for slope (Table 3.4.3.2 from AS/NZS 3500.3:2018) (1.21 for 23° pitch) (m ²)
Ae	6300	Cross sectional area of 57 x 115 Slotted Quad Gutter (mm ²)
DRI	108	Design Rainfall Intensity (determined from Table E1 from AS/NZS 3500.3:2018)
Acdp	64	Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3:2018) (m ²)
Required Downpipes	3.36	Ac / Acdp
Downpipes Provided	5	

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EV SOFFIT EAVE VENT PROPOSED LOCATION TO BE MIN. 1M FROM CORNER JOINT

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2 CT2 AMENDMENTS	JOL 18/12/2023
3 CT3 AMENDMENTS	JOL 15/01/2024
4 PRELIM PLANS - INITIAL ISSUE	MT 19/02/2024
5 PRELIM PLANS - VARIATION UPDATE	MLG 2024.04.10
6 PRELIM PLANS - RFI & VARIATION UPDATE	MLG 2024.06.07

CLIENT:	VICTORIA LOUISE & STEPHEN MICHAEL VAN LOON
ADDRESS:	32 LIDDESDALE DRIVE, DELORAINE TAS 7304
LOT / SECTION / CT:	19 / - / 185043
COUNCIL:	MEANDER VALLEY COUNCIL

HOUSE DESIGN:	MONASH 11
FACADE DESIGN:	CLASSIC
SHEET TITLE:	ROOF DRAINAGE PLAN
SHEET No.:	8 / 12

HOUSE CODE:	H-WDCMNS30SA
FACADE CODE:	F-WDCMNS30CLASA
SCALES:	

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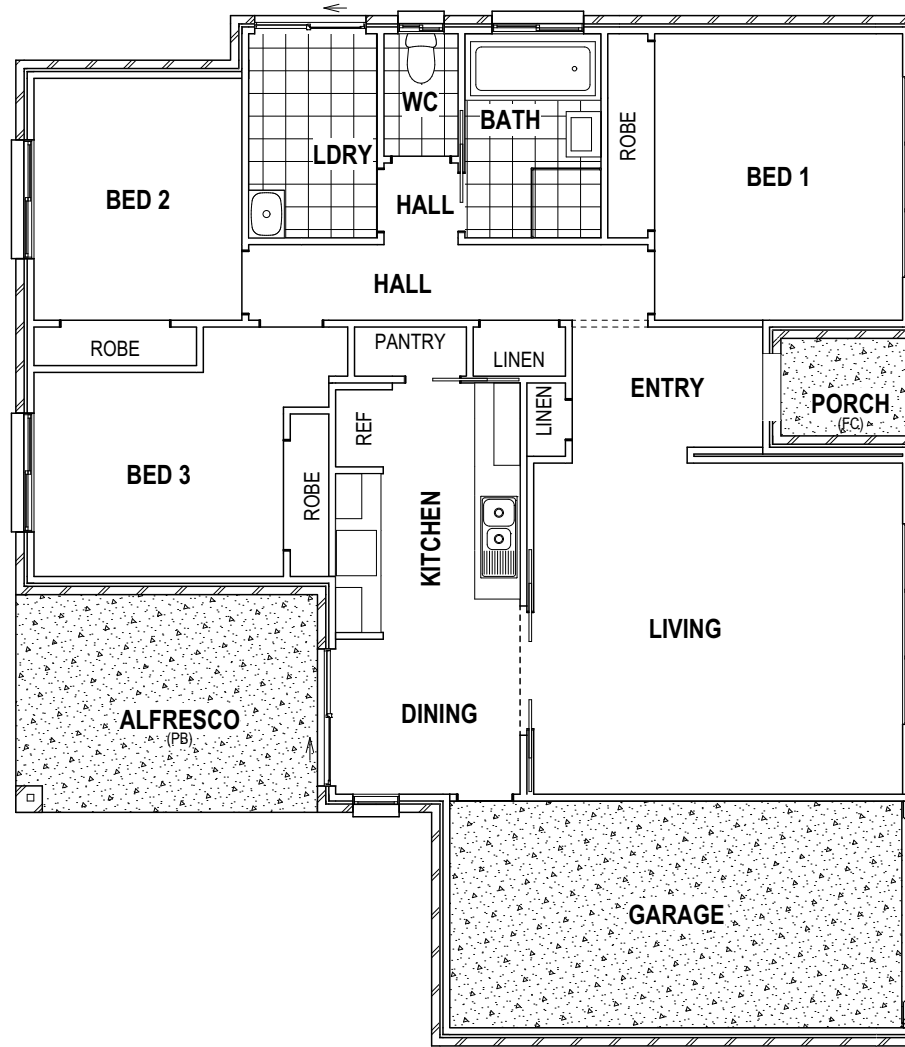
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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
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 - SITE CLASSIFICATION
 - GENERAL BUILDING INFORMATION

FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.
 TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND

	NO COVERING
	COVER GRADE CONCRETE
	CARPET
	LAMINATE
	TILE (STANDARD WET AREAS)
	TILE (UPGRADED AREAS)
	DECKING



PRELIMINARY

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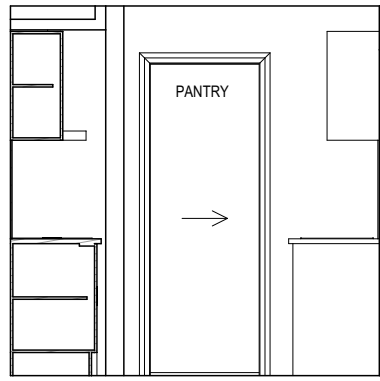


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	3	CT3 AMENDMENTS	JOL 15/01/2024				
	4	PRELIM PLANS - INITIAL ISSUE	MT 19/02/2024	LOT / SECTION / CT: 19 / - / 185043	COUNCIL: MEANDER VALLEY COUNCIL		SHEET No.: 9 / 12
	5	PRELIM PLANS - VARIATION UPDATE	MLG 2024.04.10				
	6	PRELIM PLANS - RFI & VARIATION UPDATE	MLG 2024.06.07	SHEET TITLE: FLOOR COVERINGS	SCALES: 1:100		713893

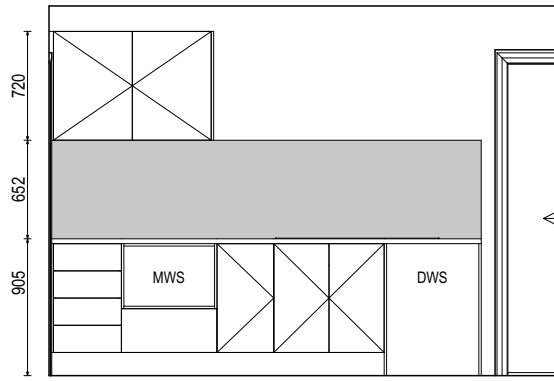
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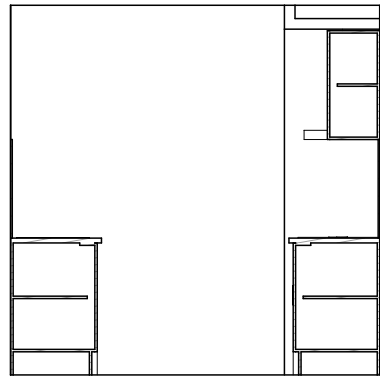
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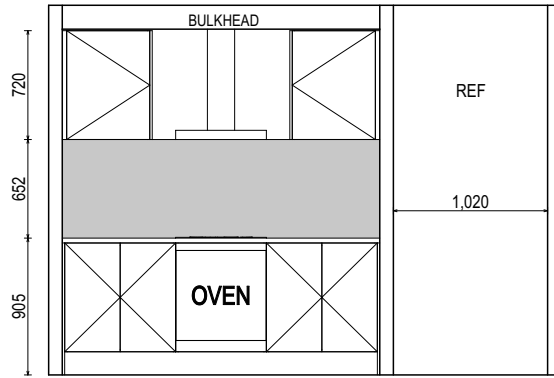
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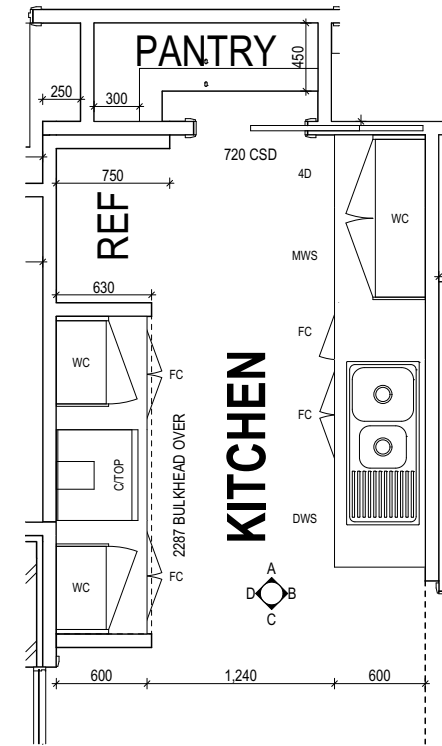
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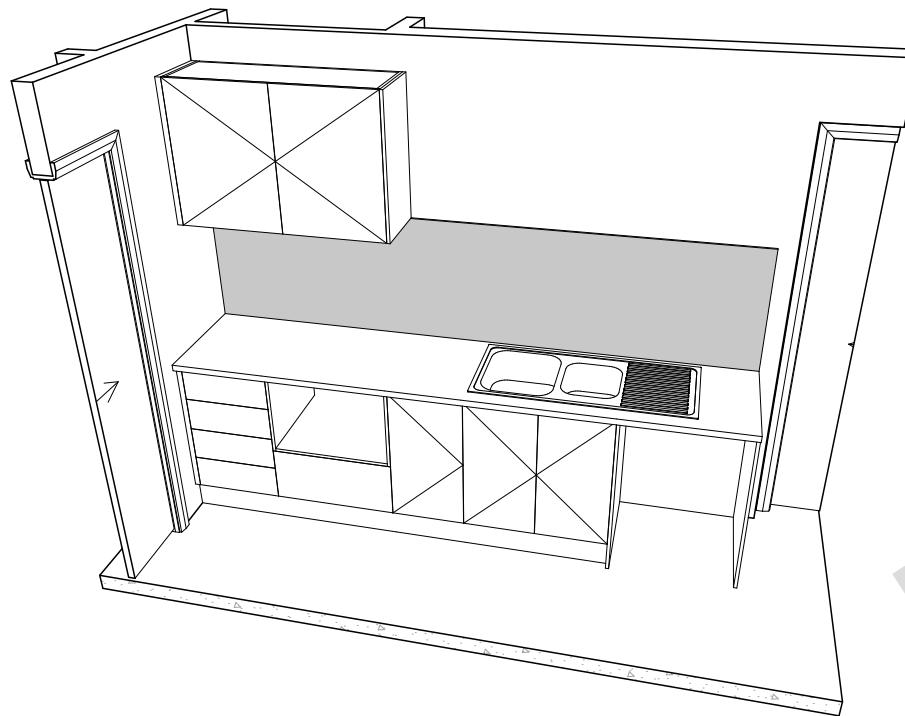
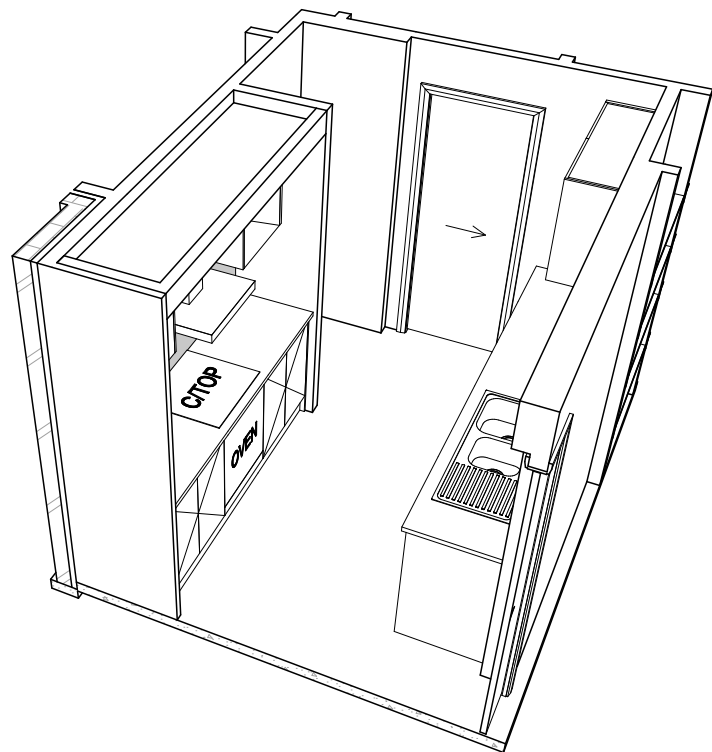
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ELEVATION D
SCALE: 1:50



KITCHEN PLAN
SCALE: 1:50



PRELIMINARY

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WATERPROOFING & PLUMBING**

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	© 2024	4	PRELIM PLANS - INITIAL ISSUE	MT	19/02/2024	32 LIDDESDALE DRIVE, DELORAINE TAS 7304		CLASSIC		F-WDCMNS30CLASA		
		5	PRELIM PLANS - VARIATION UPDATE	MLG	2024.04.10	LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:		SHEET No.:	SCALES:	
		6	PRELIM PLANS - RFI & VARIATION UPDATE	MLG	2024.06.07	19 / - / 185043	MEANDER VALLEY COUNCIL	KITCHEN DETAILS		10 / 12	1:50	

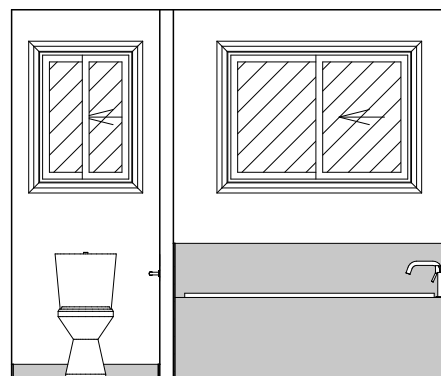
REFER TO THE FOLLOWING DETAILS:
 VANITY DETAILS G-VANI-001
 WINDOW OVER BATH HOB D-WIND-ALU001
 STANDARD BATH HOB D-WETA-BATH003
 WET AREA TILING LAYOUTS D-WETA-TILE002
 SQUARE SET WINDOWS G-WIND-SSET02
 FULL HEIGHT TILING D-LINI-WETA

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
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 - GENERAL BUILDING INFORMATION

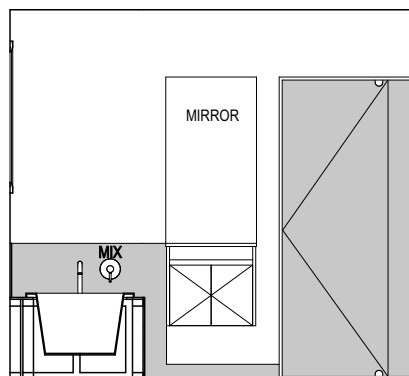
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LEGEND

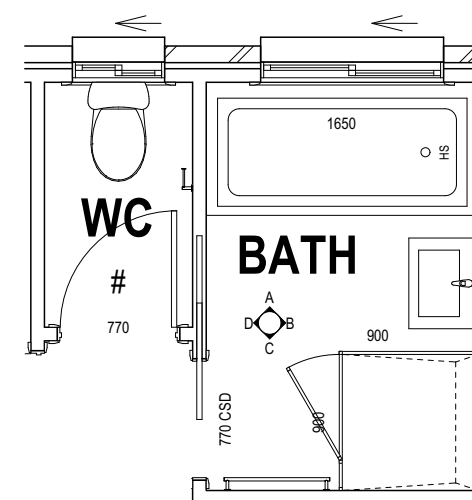
- RSHR RAIL SHOWER
- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
- WS WALL SPOUT
- SC STOP COCK
- TRH TOILET ROLL HOLDER
- TR-S TOWEL RAIL - SINGLE
- TR-D TOWEL RAIL - DOUBLE
- TL TOWEL LADDER
- TH TOWEL HOLDER
- TR TOWEL RACK
- TMB TUMBLER HOLDER
- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS
- SOAP SOAP HOLDER



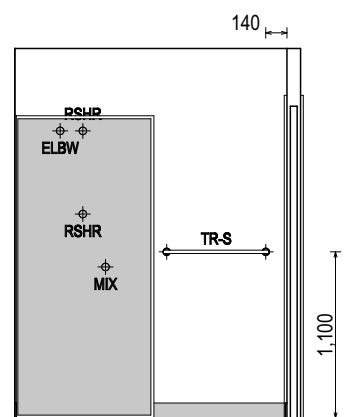
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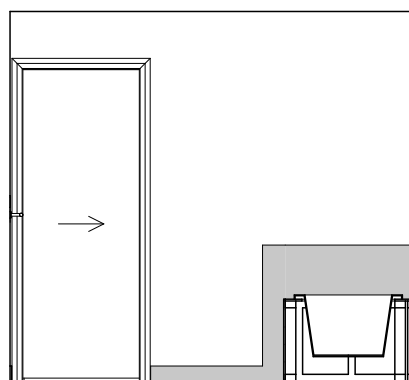
ELEVATION B
SCALE: 1:50



BATHROOM PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

SHAMPOO RECESS SIZE	STRUCTURAL DIMENSIONS	
	WIDTH	HEIGHT
"SMALL"	470 x 380mm	548mm / 446mm
"MEDIUM"	800 x 380mm	878mm / 446mm
"LARGE"	1500 x 380mm	1578mm / 446mm

REFER WILSON HOMES' DETAIL G-WETA-TILE01 FOR FURTHER DETAIL PRIOR TO INSTALLATION.

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(1 MAY 2023)
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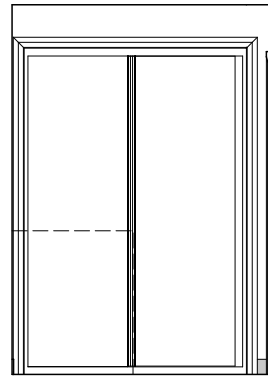
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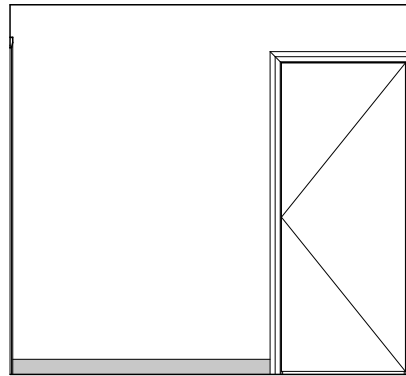
	SPECIFICATION:	DISCOVERY	REVISION:	2 CT2 AMENDMENTS	DRAWN:	JOL 18/12/2023	CLIENT:	VICTORIA LOUISE & STEPHEN MICHAEL VAN LOON	HOUSE DESIGN:	MONASH 11	HOUSE CODE:	H-WDCMNS30SA	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 713893		
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				4 PRELIM PLANS - INITIAL ISSUE		MT 19/02/2024	LOT / SECTION / CT:	19 / - / 185043	COUNCIL:	MEANDER VALLEY COUNCIL	SHEET TITLE:	BATHROOM DETAILS		SHEET No.:	11 / 12
				5 PRELIM PLANS - VARIATION UPDATE		MLG 2024.04.10					SCALES:	1:50			
				6 PRELIM PLANS - RFI & VARIATION UPDATE		MLG 2024.06.07									

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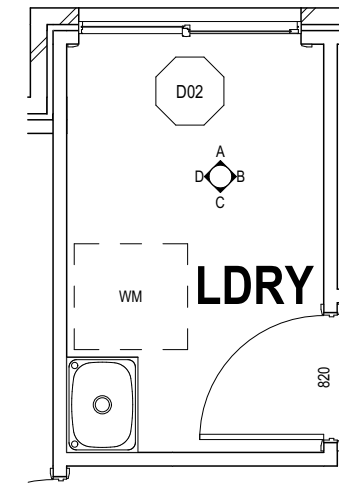
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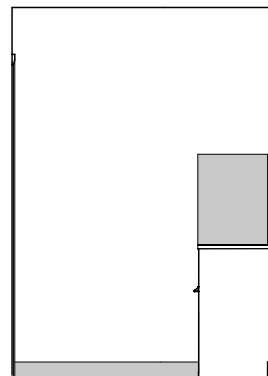
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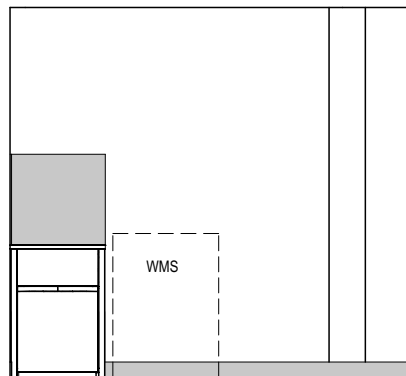
ELEVATION B
SCALE: 1:50



LAUNDRY PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

PRELIMINARY

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		3 CT3 AMENDMENTS	JOL 15/01/2024	LOT / SECTION / CT: 19 / - / 185043	COUNCIL: MEANDER VALLEY COUNCIL	SHEET No.: 12 / 12	
		4 PRELIM PLANS - INITIAL ISSUE	MT 19/02/2024			SCALES: 1:50	
		5 PRELIM PLANS - VARIATION UPDATE	MLG 2024.04.10				
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Technical Memo

21 June 2024

Wilson Homes
250 Murray St
Hobart, TAS 7000

5922_AC_R_R1
AJM

Attn: Mr Mark Page

Dear Sir,

RE: Lot 19, 32 Liddesdale Dr, Deloraine, traffic noise assessment.

Please find below our report on a traffic noise assessment a proposed dwelling at Lot 19, 32 Liddesdale Dr, Deloraine.

1. INTRODUCTION

Tarkarri Engineering was commissioned by Wilson Homes to conduct traffic noise assessment for a proposed single-storey dwelling at Lot 19, 32 Liddesdale Dr, Deloraine. The assessment addresses Performance C3.0 Road and Railway Assets Code of the *Tasmanian Planning Scheme – State Planning Provisions* with regard habitable buildings for sensitive uses within a road or railway attenuation area.

A road traffic noise assessment for the residential subdivision of Liddesdale Dr, Deloraine (with Lot 19, 32 Liddesdale Dr near to this) was conducted in 2023 (see Tarkarri Engineering report 5821_AC_R for details). From this report projected traffic noise levels were provided for lots that bound the Bass Hwy at given set back distances from the road easement. The relevant projected traffic noise level for the proposed dwelling on Lot 19, 32 Liddesdale Dr is 68 $L_{A10,18hr}$.

Under the subdivision assessment where the desired traffic noise limit criterion of 63 dBA $L_{A10,18hr}$ is exceeded at a proposed dwelling facade then an assessment of the proposed dwelling is required in accordance with section 5.3 *Internal traffic daytime noise criterion* of the *Tasmanian State Road Traffic Noise Management Guidelines*, provided below for reference.

5.3 Internal traffic daytime noise criterion

Internal traffic noise means traffic noise measured inside a building.

Internal traffic noise may need to be considered in circumstances where it is not be possible to achieve external noise targets.

The Department may then consider acoustical treatment of sensitive use buildings to reduce traffic noise intrusion into the building.

The *Tasmanian Environment Protection Policy (Noise) 2009* establishes a daytime indoors indicator level of $L_{Aeq}(16 \text{ hour})$ 35 dB(A).





The nominal internal design criterion for this approach will therefore be $L_{Aeq}(16 \text{ hour})$ 35 dB(A).

However, because of the many differences between building designs and construction and how people use internal spaces, the Department will not use this nominal design criterion as the target for internal noise. Instead, the Department will first use the measured or predicted external noise $L_{A10}(18 \text{ hour})$ to calculate an assumed internal $L_{Aeq}(16 \text{ hour})$ using the relationship:

$$L_{Aeq}(16 \text{ hour}) = L_{A10}(18 \text{ hour}) - 2.0 \text{ dB(A)}.$$

The Department will then use *AS3671-1989 Acoustics – Road traffic noise intrusion – building siting and construction* to determine acoustical treatments that could best mitigate the external $L_{Aeq}(16 \text{ hour})$ noise to achieve the nominal design criterion for internal noise of $L_{Aeq}(16 \text{ hour})$ 35 dB(A)

2. SITE DESCRIPTION

Lot 19, 32 Liddesdale Dr Street bounds the Bass Hwy road corridor to the north. The new dwelling proposed would be located approx. 44 m from the boundary with the road corridor.

Figure 2-1 presents a site plan for Lot 19, 32 Liddesdale Dr while Figures 2-2 to 2-4 present floor plans and elevations for the proposed dwelling.

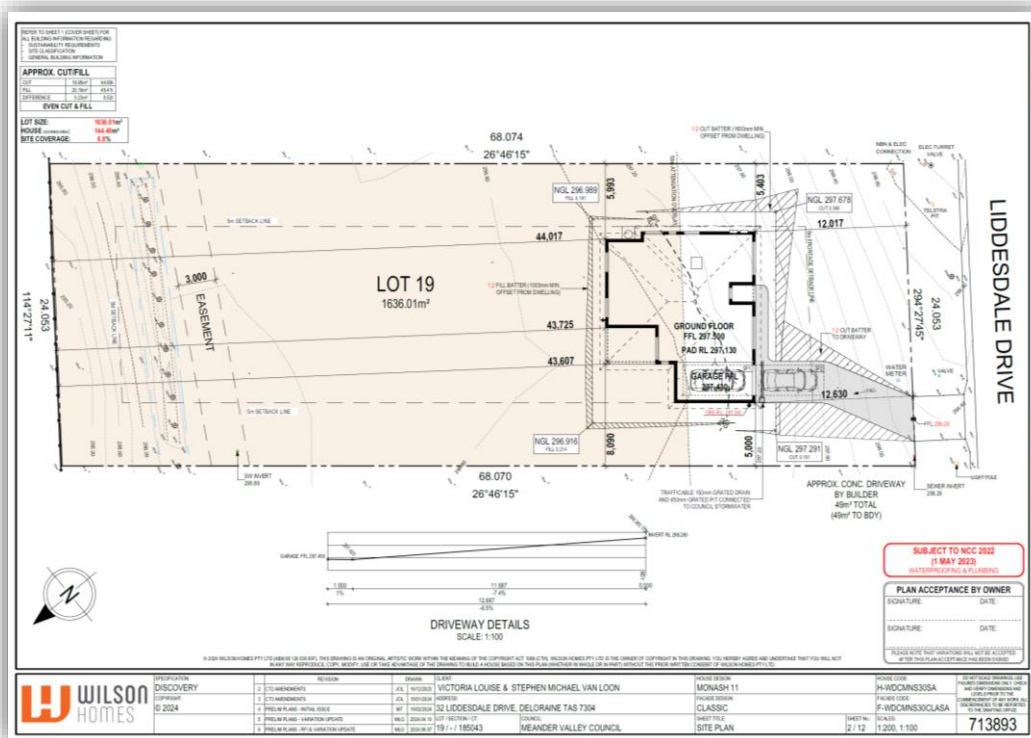


Figure 2-1: Site plan of proposed dwelling (provided by Wilson Homes).

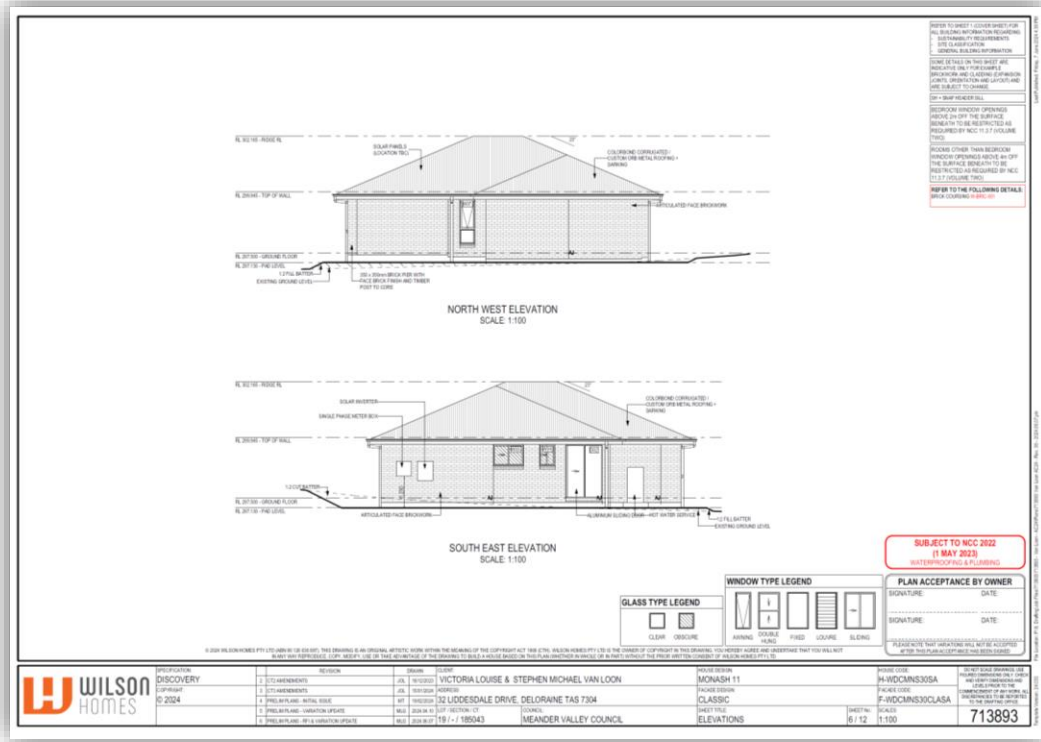


Figure 2-3: Elevations of proposed dwelling (provided by Wilson Homes).

3. FACADE ASSESSMENT

Following the procedures under AS3671-1989, as required under the TSRTNMG, weighted sound reduction index values (Rw) were calculated for the facade elements of each sensitive space within the proposed dwelling to allow a reduction of 31 dB across the facade. Table 4-1 presents the Rw requirements along with comments regarding required facade upgrades for the proposed design to meet the requirements.

Facade element Rw requirements			
Room	Element	Rw requirement	Comments
Master Bedroom	Roof/ceiling	44	Upgraded ceiling plasterboard
	Wall	42	Proposed construction sufficient
	Window	37	Upgraded double glazing required
Bedroom 2	Roof/ceiling	44	Upgraded ceiling plasterboard
	Walls	43	Proposed construction sufficient
	Window	37	Upgraded double glazing required
Bedroom 3	Roof/ceiling	44	Upgraded ceiling plasterboard
	Walls	43	Proposed construction sufficient
	Window	37	Upgraded double glazing required
Living	Roof/ceiling	43	Upgraded ceiling plasterboard
	Walls	37	Proposed construction sufficient
	Window	33	Upgraded double glazing required



Kitchen/Dining	Roof/ceiling	45	Upgraded ceiling plasterboard
	Walls	38	Proposed construction sufficient
	Windows	34	Upgraded double glazing required
	Doors	39	Upgraded sliding door system required

Table 4-1: Facade Rw requirements.

NB: A derating of 3 is allowed for Rw performance requirements for elements in the southern facade (i.e. southern facade windows in Master Bedroom and Living) is allowed with this facade not directly impacted by traffic noise from the Hwy.

Further to the comments above the following adjustments to the design have been made in accordance with the traffic noise assessment and are detailed in the DA drawing set:

- The ceiling plasterboard upgraded to 13 mm Fyrchek, surface mass of 10.5 kg/m², or equivalent.
- Upgrade window double glazed unit in Master Bedroom to provide minimum Rw 37 acoustic performance.
- Upgrade window double glazed units in Bedroom 2, Bedroom 3 and Bedroom 4 to provide minimum Rw 37 acoustic performance.
- Upgrade window double glazed unit in the Living area to provide minimum Rw 33 acoustic performance.
- Upgrade window double glazed unit in the Kitchen / Dining area to provide minimum Rw 34 acoustic performance and the double glazed sliding door system to provide minimum Rw 39 acoustic performance.

I hope this information meets your immediate requirements.

Please contact me directly if you have any questions concerning this work.

Yours faithfully,
Tarkarri Engineering Pty Ltd

Dr. Alex M^cLeod
Principal Consultant

m. +61(0)439 357 297
email: alex.mcleod@tarkarri.com



Proposed Residential Development 32 Liddesdale Drive, Deloraine

Bushfire Hazard Report

Applicant: Wilson Homes
Job Number: 713893



October 2023 J9591v1

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Appendix A – Site Plan

Attachment 1 - Certificate of Others (form 55)

Disclaimer: The author does not warrant the information contained in this document is free from errors or omissions. The author shall not in any way be liable for any loss, damage or injury suffered by the User consequent upon, or incidental to, the existence of errors in the information

1.0 Purpose

This bushfire hazard report is intended to demonstrate how the proposal complies with the relevant regulatory framework. It will demonstrate compliance with the *Building Regulations 2016*, and the *Directors Determination – Bushfire Hazard Areas, version 1.1, 12th April 2021*. Provide a certificate of others (form 55) as specified by the Director of Building Control.

2.0 Summary

Title reference	185043/19
PID	9376301
Address	32 Liddesdale Drive, Deloraine
Applicant	Wilson Homes
Municipality	Meander
Planning Scheme	Tasmanian Planning Scheme - Meander
Zoning	Low Density Residential
Bushfire Attack Level	BAL-LOW

Development of a new class 1a building at 32 Liddesdale Drive, Deloraine, requires demonstrated compliance with *Building Regulations 2016*. The Bushfire attack level has been determined as 'BAL-LOW' for the site, there are no specific requirements for the provision of property access, water supplies for firefighting or for hazard management areas for this proposal.

3.0 Introduction

This bushfire attack level assessment has been completed to form part of supporting documentation for a building permit application for the proposed development. The proposed development site has been identified as potentially being in a bushfire prone area.

4.0 Proposal

It is proposed that a new class 1a building is developed at 32 Liddesdale Drive, Deloraine (appendix A).

5.0 Bushfire Attack Level (BAL) Assessment

5.1 Methods

The Bushfire attack level has been determined through the application of section 2 of AS3959-2018 'Simplified Procedure'. Vegetation has been classified using a combination of onsite observations and remotely sensed data to be consistent with table 2.3 of AS359-2018. Slope and distances have been determined by infield measurement and/or the use of remotely sensed data (aerial/satellite photography, GIS layers from various sources) analysed with proprietary software systems. Where appropriate vegetation has been classified as low threat.

5.2 Site Description

The proposal is located at 32 Liddesdale Drive, Deloraine, in the municipality of Meander and is zoned Low Density Residential under the Tasmanian Planning Scheme – Meander. Access to the lot will be by an existing crossover from Liddesdale Drive, a council-maintained road. The lot is ~0.161 Ha, is rectangular in shape and is located approximately 5.5km south-east of Brumbys Folly (Figure 1).

Adjacent are zoned Low Density Residential, Infrastructure and Agriculture. At a landscape scale the lot occurs within a new subdivision on the northern extent of the Deloraine settled area. Vegetation cover in the surrounding area is dominated grasslands. The lot is effectively flat with no definitive aspect.

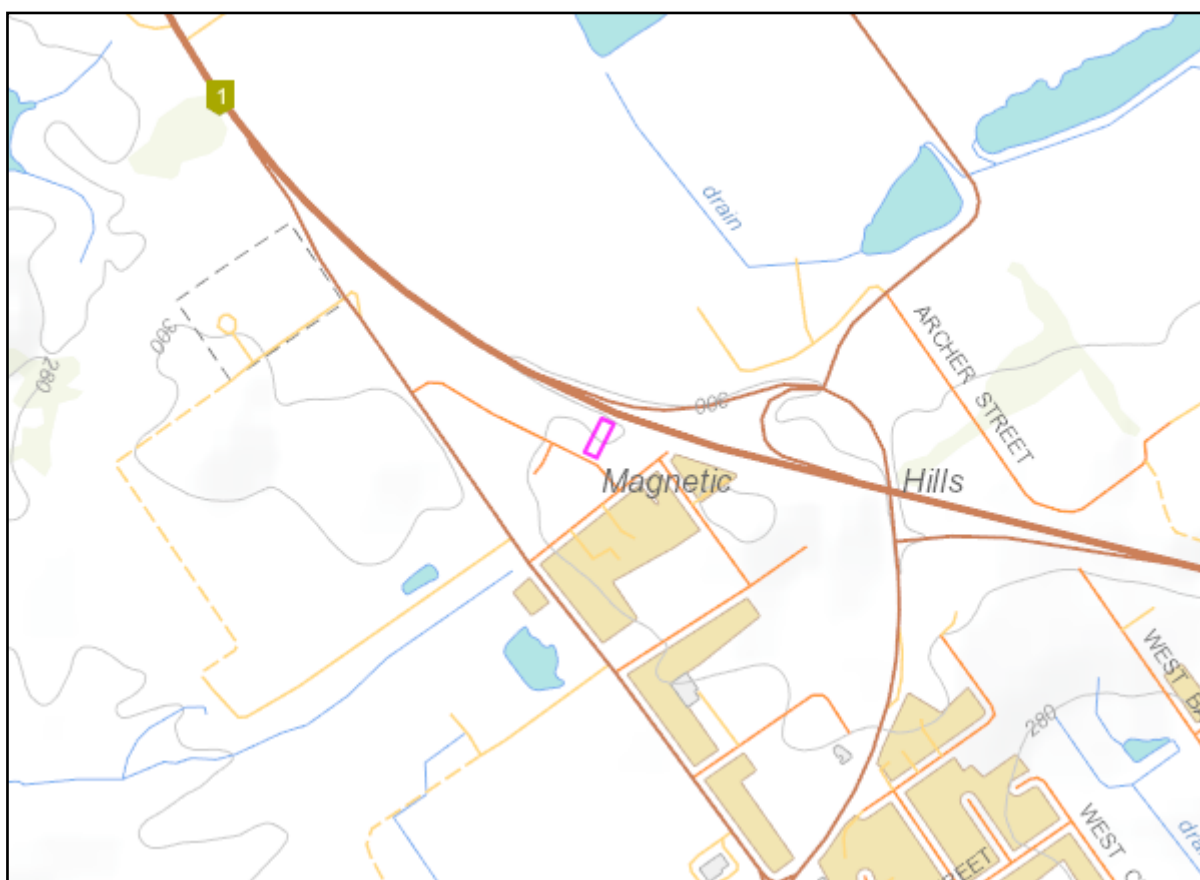


Figure 1. Location of the lot in a topographical context, lot outlined in pink.

Table 1. Bushfire Attack Level (BAL) Assessment

Azimuth	Vegetation Classification	Effective Slope	Distance to Bushfire-prone vegetation	Bushfire Attack Level
North-east	Exclusion 2.2.3.2 (e, f) [^]	flat 0°	0 to 85 metres	BAL-LOW
	Grassland [^]	flat 0°	85 to 100 metres	
	--	--	--	
	--	--	--	
South-east	Exclusion 2.2.3.2 (e, f) [^]	flat 0°	0 to 100 metres	BAL-LOW
	--	--	--	
	--	--	--	
	--	--	--	
South-west	Exclusion 2.2.3.2 (e, f) [^]	flat 0°	0 to 100 metres	BAL-LOW
	--	--	--	
	--	--	--	
	--	--	--	
North-west	Exclusion 2.2.3.2 (e, f) [^]	flat 0°	0 to >100 metres	BAL-LOW
	--	--	--	
	--	--	--	
	--	--	--	

[^] Vegetation classification as per AS3959-2018 and Figures 2.4 (A) to 2.4 (H).

* Low threat vegetation as per Bushfire Prone Areas Advisory Note (BHAN) No.1-2014, version 3, 8/11/2017.

^{^^} Exclusions as per AS3959-2018, section 2.2.3.2, (a) to (f).



Figure 2. Shows the lot in the context of surrounding lands and vegetation.

6.0 Results

The bushfire attack level for the site has been determined as **BAL-LOW**. There is an insufficient increase in the risk from bushfire to the site to warrant specific bushfire protection measures in this circumstance.

7.0 Compliance

The Bushfire Attack Level has been determined as BAL-LOW. AS3959-2018 does not provide construction requirements for buildings assessed in bushfire-prone areas in accordance with section 2 as being BAL-LOW. There are no design or construction requirements relating to; property access, water supplies for firefighting or hazard management areas in this circumstance. In accordance with s3, (1), (i) of the Director's Determination – Bushfire Hazard Areas, a certificate (form 55) is provided that states that a Bushfire Hazard Management Plan is not required in this circumstance.

8.0 Limitations Statement

This Bushfire Hazard Report has been prepared in accordance with the scope of services between Geo-Environmental Solutions Pty. Ltd. (GES) and the applicant named in section 2. To the best of GES's knowledge, the information presented herein represents the Client's requirements at the time of printing of the Report. However, the passage of time, manifestation of latent conditions or impacts of future events may result in findings differing from that described in this Report. In preparing this Report, GES has relied upon data, surveys, analyses, designs, plans and other information provided by the Client and other individuals and organisations referenced herein. Except as otherwise stated in this Report, GES has not verified the accuracy or completeness of such data, surveys, analyses, designs, plans and other information.

The scope of this study does not allow for the review of every possible bushfire hazard condition and does not provide a guarantee that no loss of property or life will occur as a result of bushfire. As stated in AS3959-2018 "It should be borne in mind that the measures contained in this Standard cannot guarantee that a building will survive a bushfire event on every occasion. This is substantially due to the degree of vegetation management, the unpredictable nature and behaviour of fire, and extreme weather conditions". In addition, no responsibility is taken for any loss which is a result of actions contrary to AS3959-2018 or the Tasmanian Planning Commission Bushfire code.

This report does not purport to provide legal advice. Readers of the report should engage professional legal practitioners for this purpose as required. No responsibility is accepted for use of any part of this report in any other context or for any other purpose by third party.

9.0 References

Directors Determination – Bushfire Hazard Areas, version 1.1, 12th April 2021

Australian Standard 3959-2018 Construction of Buildings in Bushfire-prone Areas. Standards Australia, Sydney.

Building Regulations 2016, (Tas.), div. 6 – Bushfire-prone Areas. (Austl.)

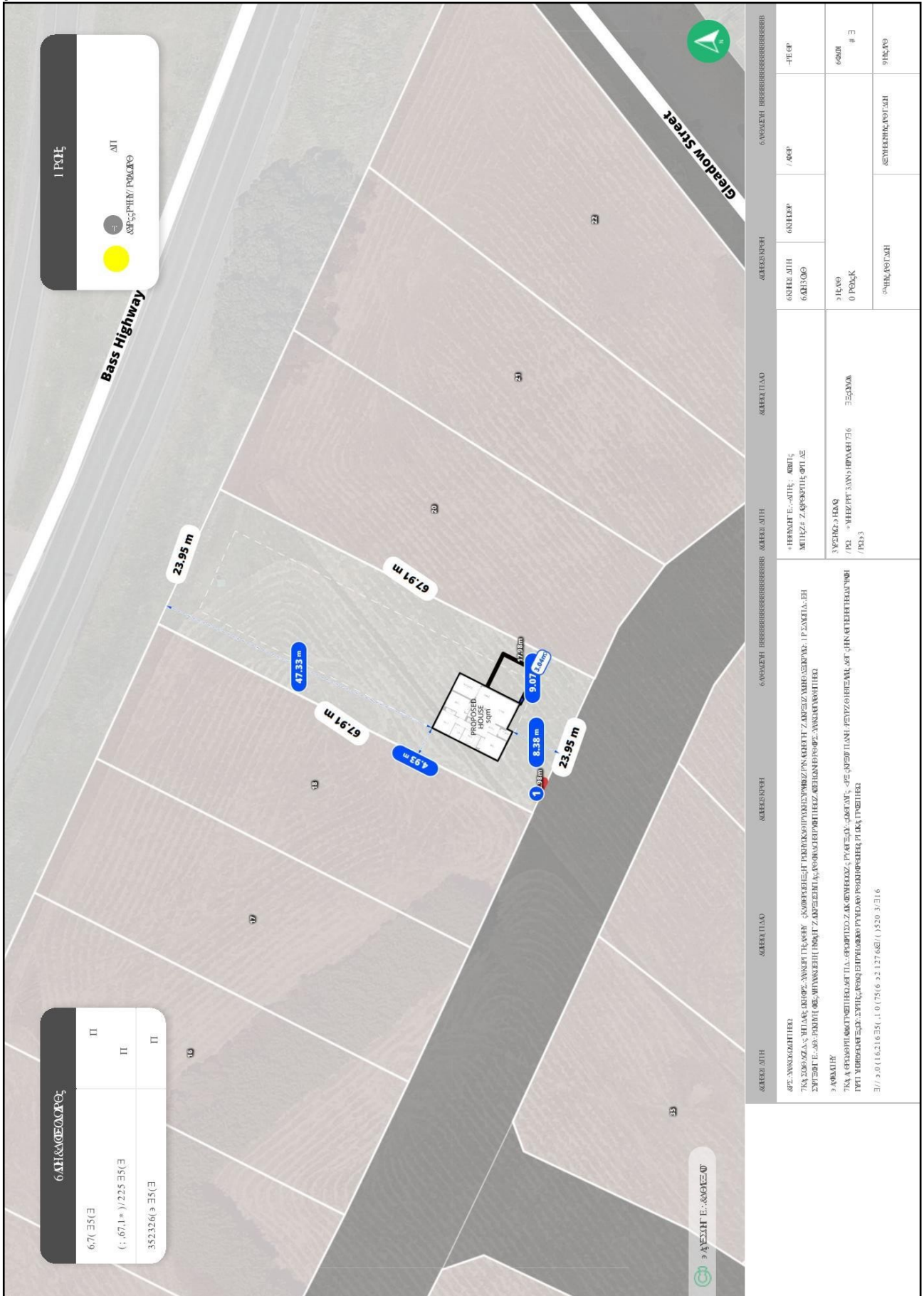
Building Regulations 2014, (Tas.) part 1A – Bushfire-prone Areas. (Austl.)

Tasmanian Planning Scheme - Meander, Tasmanian Planning Commission.

Bushfire-prone Areas Advisory Note No. 01-2014. v3.0. 8th November 2017. Assessment of vegetation within suburban areas. Tasmania Fire Service, Hobart.

Bushfire-prone Areas Advisory Note No. 04-2016. V3.0. 29th August 2017. Chief Officer's Approved Form for a Bushfire Hazard Management Plan. Tasmania Fire Service, Hobart

Appendix A – Site Plan

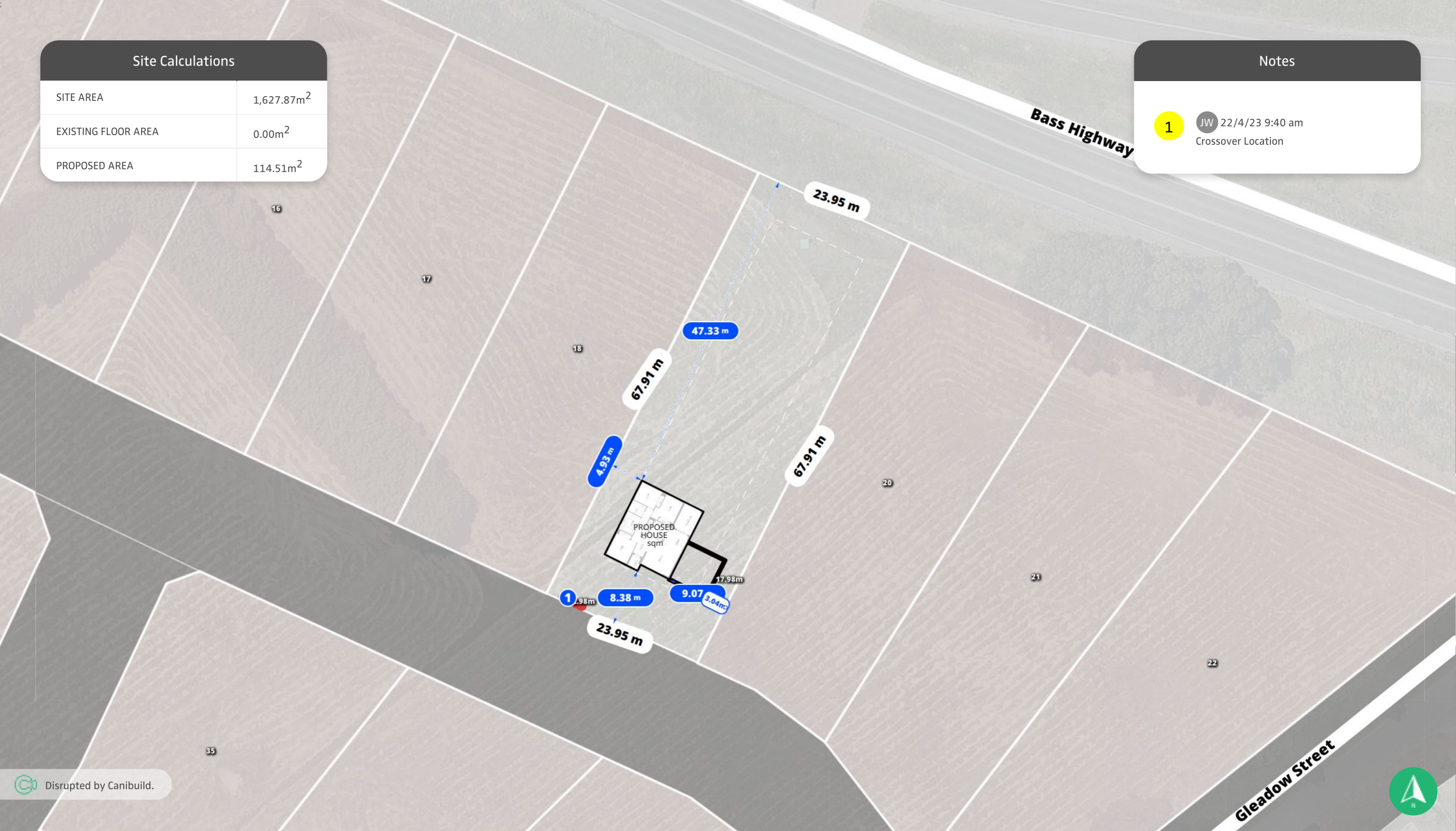


Site Calculations

SITE AREA	1,627.87m ²
EXISTING FLOOR AREA	0.00m ²
PROPOSED AREA	114.51m ²

Notes

- 1 JW 22/4/23 9:40 am
Crossover Location



Disrupted by Canibuild.



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Property Details
Lot 19, Greenwood Park Deloraine, TAS 7304, Australia
Lot/DP: 19

Sheet Name Site Plan	Sheet no. 1	Lic no.	Job no.
Design Monash 11	Scale 1:500@A3	1 st version date: 22/04/2023	Current version date: 23/04/2023
	Version # 2		

Site Calculations

SITE AREA	1,627.87m ²
EXISTING FLOOR AREA	0.00m ²
PROPOSED AREA	114.51m ²



20

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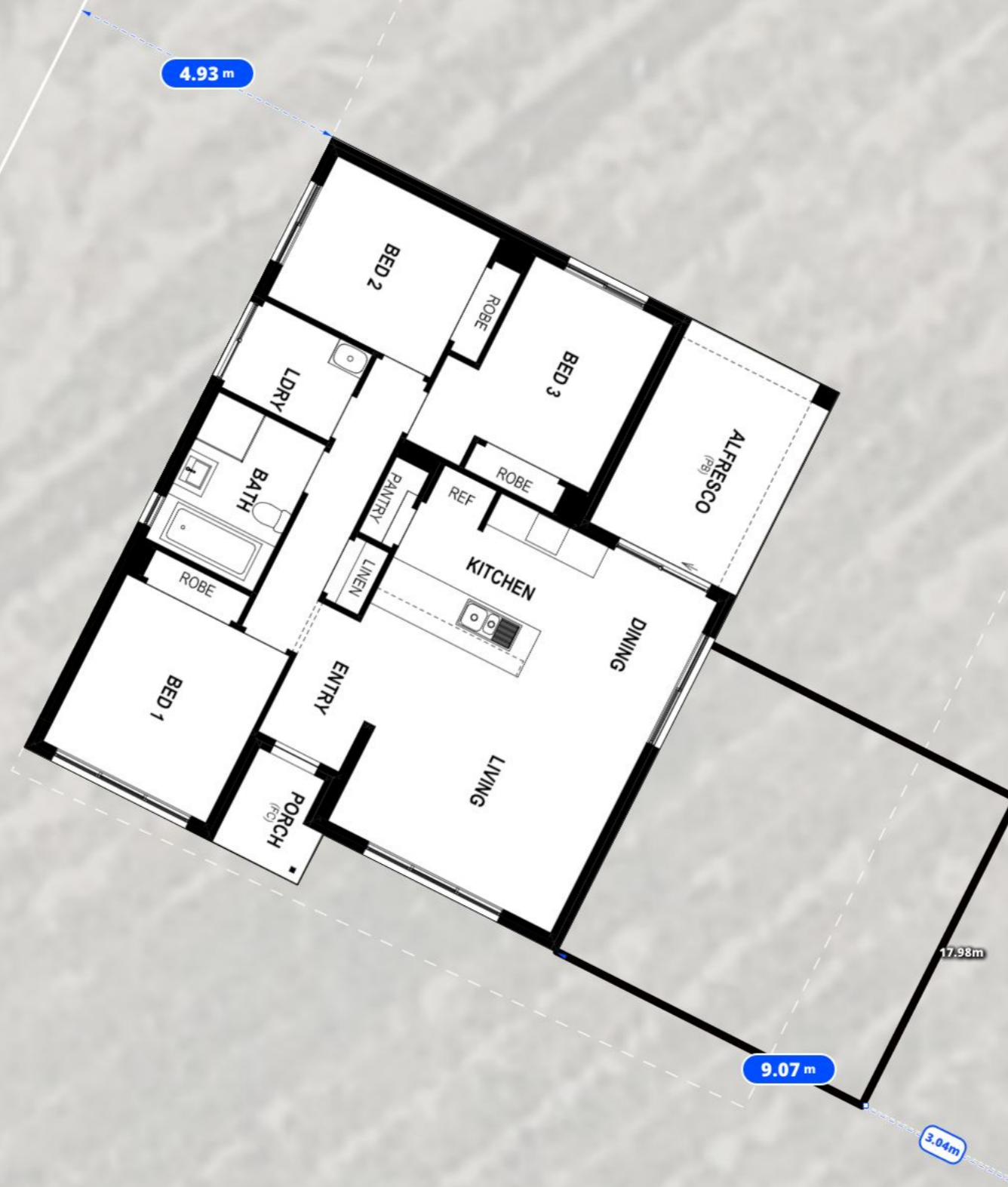
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Property Details
 Lot 19, Greenwood Park Deloraine, TAS 7304, Australia
 Lot/DP: 19

Sheet Name	Sheet no.	Lic no.	Job no.
Site Plan	2		
Design	Monash 11		Scale
			1:200 @A3
1 st version date:	Current version date:	Version #	
22/04/2023	23/04/2023	2	



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Property Details
 Lot 19, Greenwood Park Deloraine, TAS 7304, Australia
 Lot/DP: 19

Sheet Name Site Plan	Sheet no. 3	Lic no.	Job no.
Design Monash 11			Scale 1:100@A3
1 st version date: 22/04/2023		Current version date: 23/04/2023	Version # 2

CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

To: Owner /Agent
 Address
 Suburb/postcode

Form **55**

Qualified person details:

Qualified person:
Address: Phone No:
 Fax No:
Licence No: Email address:

Qualifications and Insurance details: (description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Speciality area of expertise: (description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Details of work:

Address: Lot No:
 Certificate of title No:
The assessable item related to this certificate: (description of the assessable item being certified)
Assessable item includes –
- a material;
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed

Certificate details:

Certificate type: (description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)

building work, plumbing work or plumbing installation or demolition work:

or

a building, temporary structure or plumbing installation:

In issuing this certificate the following matters are relevant –

Documents:	Bushfire Hazard Report 32 Liddesdale Drive, Deloraine. October 2023 J9591v1. and Form 55
Relevant calculations:	Not Applicable.
References:	Directors Determination – Bushfire Hazard Areas, version 1.1, 12 th April 2021. Consumer, Building and Occupational Services, Department of Justice, Tasmania. Building Amendment (Bushfire-Prone Areas) Regulations 2014 Standards Australia 2018, Construction of buildings in bushfire prone areas, Standards Australia, Sydney

Substance of Certificate: (what it is that is being certified)

The Bushfire Attack Level has been determined to be BAL-LOW. There is an insufficient increase in risk to the dwelling and occupants from bushfire to warrant specific bushfire protection measures in this circumstance. There is no requirement for the provision of hazard management areas or water supplies for firefighting and there are no specific design or construction standards for property access for the proposed class 1a development.

I also certify that there is no requirement for a Bushfire Hazard Management Plan in this circumstance.

Scope and/or Limitations

Scope: This report was commissioned to identify the Bushfire Attack Level for the existing property. Limitations: The inspection has been undertaken and report provided on the understanding that;-1. The report only deals with the potential bushfire risk all other statutory assessments are outside the scope of this report. 2. The report only identifies the size, volume and status of vegetation at the time the site inspection was undertaken and cannot be relied upon for any future development. 3. Impacts of future development and vegetation growth have not been considered.

I certify the matters described in this certificate.

Qualified person:	Signed:	Certificate No:	Date:
		J9591	23/10/2023